



# Star Home Inspection Services

## *Home Inspection Report*

**9812 Linwood Blvd, Independence, MO 64052**

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**Inspection Date: 3/12/2009**

**Prepared For: Pamela Mayes**

**Prepared By:** Star Home Inspection Services, LLC  
7058B SE Melody Lane, Suite 124  
Lee's Summit, Missouri 64063  
(816) 554-1110  
(816) 554-2135 Fax

**Report Number: 03122009-2A**

**Inspector: Alan DeMoss**



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# Report Overview

## THE HOUSE IN PERSPECTIVE

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This is a well built home. As with all homes, ongoing maintenance is required and improvements to the systems of the home will be needed over time. *The improvements that are recommended in this report are not considered unusual for a home of this age and location.* Please remember that there is no such thing as a perfect home.

## CONVENTIONS USED IN THIS REPORT

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For your convenience, the following conventions have been used in this report.

**Major Concern:** a system or component which is considered significantly deficient or is unsafe. Significant deficiencies need to be corrected and, except for some safety items, are likely to involve significant expense.

**Safety Issue:** denotes a condition that is unsafe and in need of prompt attention.

**Repair:** denotes a system or component which is missing or which needs corrective action to assure proper and reliable function.

**Improve:** denotes improvements which are recommended but not required.

**Monitor:** denotes a system or component needing further investigation and/or monitoring in order to determine if repairs are necessary.

Please note that those observations listed under “Discretionary Improvements” are not essential repairs, but represent logical long term improvements.

- For the purpose of this report, it is assumed that the house faces south.

## IMPROVEMENT RECOMMENDATION HIGHLIGHTS / SUMMARY

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The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations.

**All issues found in this report should be addressed with the appropriate parties to make any improvements, corrections or repairs necessary. All improvements, corrections and repairs should meet the satisfaction of the client named on this report and the inspection agreement associated with this report prior to closing. This report and the findings listed herein are intended for the client only and is not transferable without a signed written agreement.**

### Foundation

- **Monitor:** Common minor settlement cracks were observed in the foundation walls. This implies that some structural movement of the building has occurred. Cracks of this type should be watched for any sign of additional movement. In the absence of any sign of ongoing movement, repair should not be necessary.

### Crawl Space

- **Improve:** All wood debris and/or trash should be removed from the crawl space. Organic debris around a property increases risk of insect or rot damage.
- **Improve:** All potential vermin entry points to the crawl space should be sealed to reduce risk of pest activity or damage (example where refrigerant lines from air conditioner enter crawl space).
- **Monitor:** Surface corrosion of a duct elbow in the crawl space was noted.
- **Monitor:** There is evidence of past water in the crawl space. Wet crawl spaces risk building damage from rot and insects and can cause interior mold or mildew. This condition may vary seasonally and/or with precipitation intensity. Roof and lot drainage repairs or improvements should be addressed as a first step to controlling water in the crawl space (see “Exterior”). This condition should then be monitored to determine if additional, potentially costly measures are necessary to protect the building interior from water and moisture damage.

### Floors

- **Monitor:** The floor structure shows evidence of previous smoke damage at the outside edges of the floor joists in the crawl space where smoke staining is present from a fire 20 years ago. This information was disclosed to the current owner of the home prior to their purchase.
- **Monitor:** Replaced subflooring in the bathroom was observed in the crawl space. The work appears to be done in a professional manner.

### Roof

- **Monitor:** The rafters of the roof structure show evidence of sagging. Strengthening the roof structure would resist further movement. This improvement is not priority unless the roof is likely to be subjected to heavy loads such as from snow or additional layers of roofing material whose weight could cause further damage. Additional support can often be added easily.

### Sloped Roofing

- **Monitor, Repair:** The roofing is near the end of its life. Watch for leaks and expect to replace the roof soon. Older roofs are, by their nature, a high maintenance roof. Annual inspection and repair should be anticipated. In addition, the older flashings should be monitored. In some cases, a deteriorated flashing can result in expensive repairs, because sections of the roofing have to be removed. As a rule of thumb, replacement of the entire roof covering may be logical if more than ten percent of the roof requires repair.
- **Repair:** Sheathing and roof damage was observed at the shed. Repairs are needed.
- **Repair:** Exposed nail heads were observed. These should be caulked.
- It is recommended that the present layers of roofing materials be removed prior to re-roofing. This adds cost of demolition and debris removal to the re-roof cost.

### Flashings

- **Repair:** The furnace vent flashing should be caulked to avoid leaks.

### Gutters & Downspouts

- **Repair:** The gutters require cleaning to avoid spilling roof runoff around the building – a potential source of water entry or water damage.
- **Monitor:** Damaged downspout extension was observed. This is a cosmetic condition. Repairs are discretionary.

### Exterior Walls

- **Repair:** The exterior of the house needs to be painted.
- **Repair:** Localized rot was observed in the trim around siding. Following repair of the damaged areas (which should be combined with exterior painting/maintenance) proper maintenance of the siding and control of water from roof or surface runoff can avoid further damage.
- **Repair:** Wood/soil contact at the base of the shed siding should be eliminated. Rotted or damaged siding that is uncovered should be repaired. These areas are at risk of additional hidden damage.

### Windows/Doors

- **Repair:** The windows and door frames require painting and caulking.
- **Repair:** Localized evidence of rot was visible on door trim/frame (example at back doors). Repair to the door frame can usually be accomplished by a skilled carpenter. It's recommended that a thorough "inventory" be taken by a competent repair technician to ascertain exactly how many areas will need to be repaired or replaced. Further evaluation by a specialist may well identify additional areas that require servicing.

### Lot Drainage

- **Repair:** The grading should be improved to promote the flow of storm water away from the house. This can often be accomplished by the addition of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first ten feet. At least eight (8) inches of clearance should be maintained between soil level and the bottom of exterior wall siding.

### Deck

- **Monitor:** The deck has been built at grade level. This configuration is prone to rot and insect activity.

### Patio

- **Repair, Safety Issue:** The patio has deteriorated noticeably. Repairs are recommended to reduce a trip hazard.

### Driveway/Walkway

- **Monitor:** The driveway and walkway have settled and cracked. Persisting movement may result in the need for repairs.

### Distribution Wiring

- **Repair:** Loose wiring in the crawl space should be secured.
- **Repair:** All junction boxes should be fitted with cover plates, in order to protect the wire connections (example in attic).

### Outlets

- **Repair:** Ungrounded 3-prong outlets marked with “blue tape” should be repaired. In some cases a ground wire may be present in the electrical box and simply needs to be connected. If no ground is present “repair” can be as simple as filling the ground slot with epoxy. Better, since having a ground increases safety, a grounded circuit could be strung to this outlet, or a separate ground wire could be connected. Some electrical codes allow the installation of a ground fault circuit interrupter (GFCI) type outlet where grounding is not provided. In this case the GFCI may work but can’t be tested by normal means.
- **Repair:** A ground fault circuit interrupter (GFCI) outlet in the kitchen did not respond correctly to testing during the inspection. This receptacle should be replaced.

### Switches

- **Repair:** The function of the east light switch near the front door is unknown. Further investigation is required.

### Central Air Conditioning

- **Improve:** The outdoor unit of the air conditioning system requires cleaning.

### Crawl Space

- **Improve:** A moisture barrier should be installed on the crawl space floor.

### Water Heater

- **Monitor:** The water heater is an old unit that may be approaching the end of its useful life. It would be wise to budget for a new unit. One cannot predict with certainty when replacement will become necessary.

### Gas Piping

- **Repair:** Copper tubing is no longer suitable for gas piping. It’s recommended this pipe to the laundry room be replaced with one of suitable material.
- **Improve:** Cracked, deteriorated and/or missing shower stall grout and caulk should be replaced.
- **Improve:** Cracked, deteriorated and/or missing bathtub enclosure caulk should be replaced.

### Wall / Ceiling Finishes

- **Monitor:** Water staining was noted (example on the northwest bedroom ceiling).
- **Monitor:** Repaired ceiling damage was noted (example in dining room ceiling) .
- **Monitor:** Typical drywall flaws were observed that could include loose tape, minor cracks, rough seams, peeling paper, nail popping, minor patching, etc. Any repairs would be discretionary.
- **Repair:** Tile damage was observed in the bathroom.

### Floors

- **Monitor, Repair:** The installation of the vinyl flooring in the laundry area is not ideal..

**Doors**

- **Improve:** The weather strip at the bottom edge of the laundry storm door needs improvement.

**Kitchen Cabinets**

- **Repair:** Loose cabinet handle in the kitchen should be repaired.

**THE SCOPE OF THE INSPECTION**

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All components designated for inspection in the ASHI® Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report.

It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind.

This inspection is visual only. A representative sample of building components are viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of building components is performed.

Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

**WEATHER CONDITIONS**

Dry weather conditions prevailed at the time of the inspection.

The estimated outside temperature was 33 degrees F.

**RECENT WEATHER CONDITIONS**

Winter weather conditions have been experienced in the days leading up to the inspection.

# Structure

## DESCRIPTION OF STRUCTURE

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<b>Foundation:</b>	•Concrete Block •Crawl Space Configuration
<b>Columns:</b>	•Wood •Concrete
<b>Floor Structure:</b>	•Wood Joist
<b>Wall Structure:</b>	•Wood Frame
<b>Ceiling Structure:</b>	•Joist
<b>Roof Structure:</b>	•Rafters •Solid Plank Sheathing

## STRUCTURE OBSERVATIONS

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### Positive Attributes

The construction of the home is good quality. The materials and workmanship, where visible, are good. The visible joist spans appear to be within typical construction practices. The inspection did not discover evidence of substantial structural movement.

### General Comments

No major defects were observed in the accessible structural components of the house.

## RECOMMENDATIONS / OBSERVATIONS

### Foundation

- **Monitor:** Common minor settlement cracks were observed in the foundation walls. This implies that some structural movement of the building has occurred. Cracks of this type should be watched for any sign of additional movement. In the absence of any sign of ongoing movement, repair should not be necessary.

### Crawl Space

- **Improve:** All wood debris and/or trash should be removed from the crawl space. Organic debris around a property increases risk of insect or rot damage.
- **Improve:** All potential vermin entry points to the crawl space should be sealed to reduce risk of pest activity or damage (example where refrigerant lines from air conditioner enter crawl space).



- **Monitor:** Surface corrosion of a duct elbow in the crawl space was noted.



- **Monitor:** There is evidence of past water in the crawl space. Wet crawl spaces risk building damage from rot and insects and can cause interior mold or mildew. This condition may vary seasonally and/or with precipitation intensity. Roof and lot drainage repairs or improvements should be addressed as a first step to controlling water in the crawl space (see “Exterior”). This condition should then be monitored to determine if additional, potentially costly measures are necessary to protect the building interior from water and moisture damage.

#### Floors

- **Monitor:** The floor structure shows evidence of previous smoke damage at the outside edges of the floor joists in the crawl space where smoke staining is present from a fire 20 years ago. This information was disclosed to the current owner of the home prior to their purchase.



- **Monitor:** Replaced subflooring in the bathroom was observed in the crawl space. The work appears to be done in a professional manner.

#### Roof

- **Monitor:** The rafters of the roof structure show evidence of sagging. Strengthening the roof structure would resist further movement. This improvement is not priority unless the roof is likely to be subjected to heavy loads such as from snow or additional layers of roofing material whose weight could cause further damage. Additional support can often be added easily.

## **LIMITATIONS OF STRUCTURE INSPECTION**

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Structural components concealed behind finished surfaces could not be inspected.
- Only a representative sampling of visible structural components were inspected.
- Furniture and/or storage restricted access to some structural components.
- Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Roofing

## DESCRIPTION OF ROOFING

<b>Roof Covering:</b>	•Asphalt Shingle •Multiple Layers
<b>Roof Flashings:</b>	•Metal
<b>Chimneys:</b>	•None
<b>Roof Drainage System:</b>	•Aluminum •Downspouts discharge above grade
<b>Skylights:</b>	•None
<b>Method of Inspection:</b>	•Walked on roof

## ROOFING OBSERVATIONS

### Positive Attributes

Where investigated, eave protection has been installed below the sloped roof coverings. This reduces the risk of roof leakage, should ice damming develop in the winter. Roof flashing details appear to be in good order.

### General Comments

The roof coverings are old and are at or near end of useful life.

## RECOMMENDATIONS / OBSERVATIONS

### Sloped Roofing

- **Monitor, Repair:** The roofing is near the end of its life. Watch for leaks and expect to replace the roof soon. Older roofs are, by their nature, a high maintenance roof. Annual inspection and repair should be anticipated. In addition, the older flashings should be monitored. In some cases, a deteriorated flashing can result in expensive repairs, because sections of the roofing have to be removed. As a rule of thumb, replacement of the entire roof covering may be logical if more than ten percent of the roof requires repair.

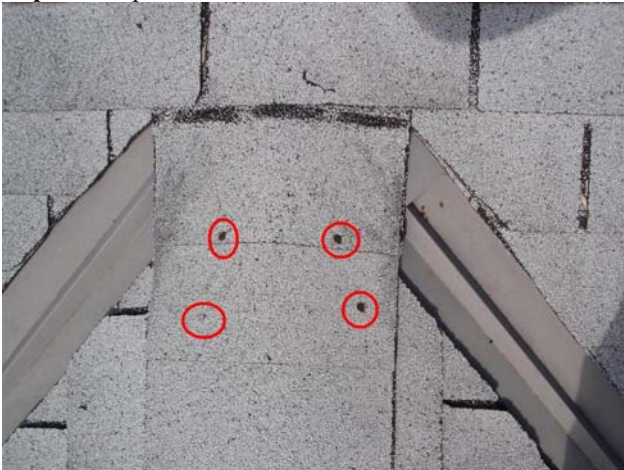




- **Repair:** Sheathing and roof damage was observed at the shed. Repairs are needed.



- **Repair:** Exposed nail heads were observed. These should be caulked.



- It is recommended that the present layers of roofing materials be removed prior to re-roofing. This adds cost of demolition and debris removal to the re-roof cost.

### Flashings

- **Repair:** The furnace vent flashing should be caulked to avoid leaks.



### Gutters & Downspouts

- **Repair:** The gutters require cleaning to avoid spilling roof runoff around the building – a potential source of water entry or water damage.



- **Monitor:** Damaged downspout extension was observed. This is a cosmetic condition. Repairs are discretionary.

## LIMITATIONS OF ROOFING INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Not all of the underside of the roof sheathing is inspected for evidence of leaks.
- Evidence of prior leaks may be disguised by interior finishes.
- Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, and other factors.
- Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.
- Roof inspection may be limited by access, condition, weather, or other safety concerns.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Exterior

## DESCRIPTION OF EXTERIOR

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<b>Wall Covering:</b>	•Wood Shingle
<b>Eaves, Soffits, And Fascias:</b>	•Wood
<b>Exterior Doors:</b>	•Metal •Solid Wood
<b>Window/Door Frames and Trim:</b>	•Vinyl Clad
<b>Entry Driveways:</b>	•Concrete
<b>Entry Walkways And Patios:</b>	•Concrete
<b>Porches, Decks, Steps, Railings:</b>	•Treated Wood
<b>Overhead Garage Door(s):</b>	•None
<b>Surface Drainage:</b>	•Level Grade •Graded Towards House
<b>Retaining Walls:</b>	•None
<b>Fencing:</b>	•Chain Link

## EXTERIOR OBSERVATIONS

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### Positive Attributes

The exterior siding that has been installed on the house is relatively low maintenance. Window frames are clad, for the most part, with a low maintenance material.

### General Comments

The exterior of the home shows normal wear and tear for a home of this age.

## RECOMMENDATIONS / OBSERVATIONS

### Exterior Walls

- **Repair:** The exterior of the house needs to be painted.
- **Repair:** Localized rot was observed in the trim around siding. Following repair of the damaged areas (which should be combined with exterior painting/maintenance) proper maintenance of the siding and control of water from roof or surface runoff can avoid further damage.
- **Repair:** Wood/soil contact at the base of the shed siding should be eliminated. Rotted or damaged siding that is uncovered should be repaired. These areas are at risk of additional hidden damage.

### Windows/Doors

- **Repair:** The windows and door frames require painting and caulking.
- **Repair:** Localized evidence of rot was visible on door trim/frame (example at back doors). Repair to the door frame can usually be accomplished by a skilled carpenter. It's recommended that a thorough "inventory" be taken by a competent repair technician to ascertain exactly how many areas will need to be repaired or replaced. Further evaluation by a specialist may well identify additional areas that require servicing.

### Lot Drainage

- **Repair:** The grading should be improved to promote the flow of storm water away from the house. This can often be accomplished by the addition of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first ten feet. At least eight (8) inches of clearance should be maintained between soil level and the bottom of exterior wall siding.

### Deck

- **Monitor:** The deck has been built at grade level. This configuration is prone to rot and insect activity.

### Patio

- **Repair, Safety Issue:** The patio has deteriorated noticeably. Repairs are recommended to reduce a trip hazard.

### Driveway/Walkway

- **Monitor:** The driveway and walkway have settled and cracked. Persisting movement may result in the need for repairs.

## **LIMITATIONS OF EXTERIOR INSPECTION**

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- A representative sample of exterior components was inspected rather than every occurrence of components.
- The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.
- Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.
- Access below decks and/or porches was extremely limited.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Electrical

## DESCRIPTION OF ELECTRICAL

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<b>Size of Electrical Service:</b>	•120/240 Volt Main Service - Service Size: 100 Amps
<b>Service Drop:</b>	•Overhead
<b>Service Entrance Conductors:</b>	•Aluminum
<b>Service Equipment &amp; Main Disconnects:</b>	•Main Service Rating 100 Amps •Breakers •Located: Sunroom
<b>Service Grounding:</b>	•Copper •Ground Rod Connection
<b>Service Panel &amp; Overcurrent Protection:</b>	•Panel Rating: 100 Amp •Breakers •Located: Sunroom
<b>Sub-Panel(s):</b>	•None Visible
<b>Distribution Wiring:</b>	•Copper
<b>Wiring Method:</b>	• Non-Metallic Cable "Romex"
<b>Switches &amp; Receptacles:</b>	•Grounded and Ungrounded
<b>Ground Fault Circuit Interrupters:</b>	•Bathroom(s) •Kitchen
<b>Smoke Detectors:</b>	•Present

## ELECTRICAL OBSERVATIONS

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### Positive Attributes

The size of the electrical service is sufficient for typical single family needs. The electrical panel is well arranged and all fuses/breakers are properly sized. Generally speaking, the electrical system is in good order. The distribution of electricity within the home is good. Ground fault circuit interrupter (GFCI) devices have been provided in some areas of the home. These devices are extremely valuable, as they offer an extra level of shock protection. All GFCI's that were tested responded properly. Dedicated 220 volt circuits have been provided for all 220 volt appliances within the home. All visible wiring within the home is copper. This is a good quality electrical conductor.

### General Comments

Inspection of the electrical system revealed the need for typical, minor repairs. Although these are not costly to repair, they should be high priority for safety reasons. *Unsafe electrical conditions represent a shock hazard.* A licensed electrician should be consulted to undertake the repairs recommended below.

### RECOMMENDATIONS / OBSERVATIONS

#### Distribution Wiring

- **Repair:** Loose wiring in the crawl space should be secured.
- **Repair:** All junction boxes should be fitted with cover plates, in order to protect the wire connections (example in attic).



### Outlets

- **Repair:** Ungrounded 3-prong outlets marked with “blue tape” should be repaired. In some cases a ground wire may be present in the electrical box and simply needs to be connected. If no ground is present “repair” can be as simple as filling the ground slot with epoxy. Better, since having a ground increases safety, a grounded circuit could be strung to this outlet, or a separate ground wire could be connected. Some electrical codes allow the installation of a ground fault circuit interrupter (GFCI) type outlet where grounding is not provided. In this case the GFCI may work but can’t be tested by normal means.
- **Repair:** A ground fault circuit interrupter (GFCI) outlet in the kitchen did not respond correctly to testing during the inspection. This receptacle should be replaced.

### Switches

- **Repair:** The function of the east light switch near the front door is unknown. Further investigation is required.

## LIMITATIONS OF ELECTRICAL INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Electrical components concealed behind finished surfaces are not inspected.
- Only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage restricted access to some electrical components which may not be inspected.
- The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, and other components which are not part of the primary electrical power distribution system.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Heating

## DESCRIPTION OF HEATING

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<b>Energy Source:</b>	•Gas
<b>Heating System Type:</b>	•Forced Air Furnace •Manufacturer: Carrier •Serial Number: 0901A65710
<b>Vents, Flues, Chimneys:</b>	•Metal-Single Wall
<b>Heat Distribution Methods:</b>	•Ductwork
<b>Other Components:</b>	•Humidifier (Disconnected)

## HEATING OBSERVATIONS

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### Positive Attributes

The heating system is in generally good condition. Heating a home with a this type of heating system should be relatively economical. Adequate heating capacity is provided by the system. Heat distribution within the home is adequate. The heating system is controlled by a “set back” thermostat. This type of thermostat, if set up correctly, helps reduce heating costs.

### General Comments

The heating system shows no visible evidence of major defects.

## RECOMMENDATIONS / OBSERVATIONS

### Furnace

- **Note:** The humidifier is disconnected.

### Supply Air Ductwork

- **Note:** No register for the added sunroom is present.

## LIMITATIONS OF HEATING INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- The adequacy of heat supply or distribution balance is not inspected.
- The interior of flues or chimneys which are not readily accessible are not inspected.
- The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected.
- Solar space heating equipment/systems are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Cooling / Heat Pumps

## DESCRIPTION OF COOLING / HEAT PUMPS

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<b>Energy Source:</b>	•Electricity
<b>Central System Type:</b>	•Air Cooled Central Air Conditioning •Manufacturer: Carrier
	•Serial Number: 2800E29625
<b>Size of Circuit:</b>	•Circuit Size: Minimum Circuit Size 19.9 Amps/Maximum Circuit Breaker Size 30 Amps •Breaker Size In Main Panel:30
<b>Other Components:</b>	•House Fan

## COOLING / HEAT PUMPS OBSERVATIONS

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### Positive Attributes

The capacity and configuration of the system should be sufficient for the home. The location of the return air vents is well suited to air conditioning.

### General Comments

The system shows no visible evidence of major defects.

## RECOMMENDATIONS / OBSERVATIONS

### Central Air Conditioning

- **Improve:** The outdoor unit of the air conditioning system requires cleaning.

## LIMITATIONS OF COOLING / HEAT PUMPS INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Window mounted air conditioning units are not inspected.
- The cooling supply adequacy or distribution balance are not inspected.
- The air conditioning system could not be tested as the outdoor temperature was below 60 degrees F.
- The system was not tested.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Insulation / Ventilation

## DESCRIPTION OF INSULATION / VENTILATION

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<b>Attic Insulation:</b>	•Loose Fiberglass/Mineral Wool in Main Attic
<b>Roof Cavity Insulation:</b>	•None Visible
<b>Exterior Wall Insulation:</b>	•Not Visible
<b>Crawl Space Insulation:</b>	•None Visible
<b>Vapor Retarders:</b>	•Unknown
<b>Roof Ventilation:</b>	•Gable Vents
<b>Crawl Space Ventilation:</b>	•Exterior Wall Vents
<b>Exhaust Fan/vent Locations:</b>	•Dryer

## INSULATION / VENTILATION OBSERVATIONS

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### Positive Attributes

Insulation levels are typical for a home of this age and construction.

### RECOMMENDATIONS / ENERGY SAVING SUGGESTIONS

#### Crawl Space

- **Note:** Ductwork in the crawl space is not insulated.
- **Improve:** A moisture barrier should be installed on the crawl space floor.

## LIMITATIONS OF INSULATION / VENTILATION INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- An analysis of indoor air quality is not part of our inspection unless explicitly contracted-for and discussed in this or a separate report.
- Any estimates of insulation R values or depths are rough average values.
- No access was gained to the wall cavities of the home.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Plumbing

## DESCRIPTION OF PLUMBING

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<b>Water Supply Source:</b>	•Public Water Supply
<b>Service Pipe to House:</b>	•Copper
<b>Main Water Valve Location:</b>	•Crawl Space
<b>Interior Supply Piping:</b>	•Copper
<b>Waste System:</b>	•Public Sewer System
<b>Drain, Waste, &amp; Vent Piping:</b>	•Plastic
<b>Water Heater:</b>	•Gas •Approximate Capacity (in gallons): 40 •Manufacturer: US Water Heater •Serial Number: KA1033418
<b>Fuel Shut-Off Valves:</b>	•Natural Gas Main Valve At Meter
<b>Other Components:</b>	•Sump Pump

## PLUMBING OBSERVATIONS

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### Positive Attributes

The plumbing system is in generally good condition. The piping system within the home, for both supply and waste, is a good quality system. The water pressure supplied to the fixtures is above average. Only a slight drop in flow was experienced when two fixtures were operated simultaneously.

### RECOMMENDATIONS / OBSERVATIONS

#### Water Heater

- **Monitor:** The water heater is an old unit that may be approaching the end of its useful life. It would be wise to budget for a new unit. One cannot predict with certainty when replacement will become necessary.

#### Gas Piping

- **Repair:** Copper tubing is no longer suitable for gas piping. It's recommended this pipe to the laundry room be replaced with one of suitable material.
- **Improve:** Cracked, deteriorated and/or missing shower stall grout and caulk should be replaced.
- **Improve:** Cracked, deteriorated and/or missing bathtub enclosure caulk should be replaced.

## LIMITATIONS OF PLUMBING INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.
- Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.
- Clothes washing machine connections are not inspected.
- Interiors of flues or chimneys which are not readily accessible are not inspected.
- Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Interior

## DESCRIPTION OF INTERIOR

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<b>Wall And Ceiling Materials:</b>	•Drywall •Paneling
<b>Floor Surfaces:</b>	•Carpet •Tile •Vinyl/Resilient •Wood
<b>Window Type(s) &amp; Glazing:</b>	•Double/Single Hung •Fixed Pane •Double Glazed
<b>Doors:</b>	•Wood-Solid Core •Wood-Hollow Core •Metal •Storm Door(s)

## INTERIOR OBSERVATIONS

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### General Condition of Interior Finishes

On the whole, the interior finishes of the home are in average condition. Typical flaws were observed in some areas.

### General Condition of Windows and Doors

The majority of the doors and windows are good quality.

### General Condition of Floors

The floors of the home are relatively level and walls are relatively plumb.

## RECOMMENDATIONS / OBSERVATIONS

### Wall / Ceiling Finishes

- **Monitor:** Water staining was noted (example on the northwest bedroom ceiling).
- **Monitor:** Repaired ceiling damage was noted (example in dining room ceiling) .
- **Monitor:** Typical drywall flaws were observed that could include loose tape, minor cracks, rough seams, peeling paper, nail popping, minor patching, etc. Any repairs would be discretionary.
- **Repair:** Tile damage was observed in the bathroom.

### Floors

- **Monitor, Repair:** The installation of the vinyl flooring in the laundry area is not ideal..

### Doors

- **Improve:** The weather strip at the bottom edge of the laundry storm door needs improvement.

### Kitchen Cabinets

- **Repair:** Loose cabinet handle in the kitchen should be repaired.

## LIMITATIONS OF INTERIOR INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects.
- Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Appliances

## DESCRIPTION OF APPLIANCES

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<b>Appliances Tested:</b>	•Electric Range •Electric Cooktop •Microwave Oven •Dishwasher •Waste Disposer •Refrigerator
<b>Laundry Facility:</b>	•Gas Piping for Dryer •Dryer Vented to Building Exterior •Hot and Cold Water Supply for Washer •Waste Standpipe for Washer
<b>Other Components Tested:</b>	•Cooktop Fan/Light •Door Bell

## APPLIANCES OBSERVATIONS

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### Positive Attributes

The appliances are to be in generally good condition. All appliances that were tested responded satisfactorily. The kitchen and laundry facilities are well organized.

### RECOMMENDATIONS / OBSERVATIONS

## LIMITATIONS OF APPLIANCES INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Thermostats, timers and other specialized features and controls are not tested.
- The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.