



**Star  
Home  
Inspection Services**

*Home Inspection Report*

**9733 Glenwood St Overland Park, KS 66212**

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**Inspection Date: 02/01/2011**

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**Report Number: 02012011-2L**

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# Table Of Contents

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<b>REPORT OVERVIEW</b>	<b>3</b>
<b>STRUCTURE</b>	<b>7</b>
<b>ROOFING</b>	<b>9</b>
<b>EXTERIOR</b>	<b>12</b>
<b>ELECTRICAL</b>	<b>16</b>
<b>HEATING</b>	<b>19</b>
<b>COOLING / HEAT PUMPS</b>	<b>20</b>
<b>INSULATION / VENTILATION</b>	<b>21</b>
<b>PLUMBING</b>	<b>22</b>
<b>INTERIOR</b>	<b>24</b>
<b>APPLIANCES</b>	<b>26</b>
<b>FIREPLACES / WOOD STOVES</b>	<b>27</b>

# Report Overview

## THE HOUSE IN PERSPECTIVE

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This is a well built home. As with all homes, ongoing maintenance is required and improvements to the systems of the home will be needed over time. *The improvements that are recommended in this report are not considered unusual for a home of this age and location.* Please remember that there is no such thing as a perfect home.

## CONVENTIONS USED IN THIS REPORT

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For your convenience, the following conventions have been used in this report.

**Major Concern:** a system or component which is considered significantly deficient or is unsafe. Significant deficiencies need to be corrected and, except for some safety items, are likely to involve significant expense.

**Safety Issue:** denotes a condition that is unsafe and in need of prompt attention.

**Repair:** denotes a system or component which is missing or which needs corrective action to assure proper and reliable function.

**Improve:** denotes improvements which are recommended but not required.

**Monitor:** denotes a system or component needing further investigation and/or monitoring in order to determine if repairs are necessary.

Please note that those observations listed under “Discretionary Improvements” are not essential repairs, but represent logical long term improvements.

- For the purpose of this report, it is assumed that the house faces west.

## IMPROVEMENT RECOMMENDATION HIGHLIGHTS / SUMMARY

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The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations.

**All issues found in this report should be addressed with the appropriate parties to make any improvements, corrections or repairs necessary. All improvements, corrections and repairs should meet the satisfaction of the client named on this report and the inspection agreement associated with this report prior to closing. This report and the findings listed herein are intended for the client only and is not transferable without a signed written agreement.**

**Comments made in red are those made by the seller. If there are no comments then the item should be consider “AS IS”**

### Foundation

- **Monitor:** Some foundation bowing and cracking was observed. The foundation wall(s) appears to have been properly reinforced with steel beams. This damage is usually the result of excessive soil or frost pressure on the foundation. Lot drainage and foundation improvements should be monitored to keep water away from the building. If additional movement is observed more repairs may be necessary.
- **Monitor:** The basement floor slab has typical cracks usually the result of shrinkage and/or settling of the slab as it cures. Shrinkage cracks are very common and are not normally a concern.

### Sloped Roofing

- **Note:** The composite roof has been installed over a wood shingle roof. This was an acceptable practice for many years but some insurance companies are now denying home owner coverage with this configuration.

- **Monitor:** Some unevenness in the shingles was observed. This is most likely due to being installed over a wood shingle roof..

### Flat Roofing

- **Note:** Rolled roofing is prone to leaking and requires close monitoring and higher than normal maintenance. Due to the weather the roof was not visible.

### Chimneys

- **Monitor, Repair:** The masonry chimney shows signs of minor re-pointing (replacing the mortar between the bricks) that may be needed. Although repair is not critical at this time it should be monitored closely. A closer look is advisable in the spring and repaired at that time if needed.
- **Monitor, Repair:** The masonry chimney shows evidence of spalling (surface deterioration of the masonry). Repair is not critical at this time but this condition should be monitored.

### Garage

- **Repair, Safety Issue:** The lower panels on the south overhead garage door are uneven due to a loose hinge. Repair is needed for safe operation. **Repaired**
- **Monitor, Repair:** Both overhead garage doors show evidence of localized water damage and/or rot and needs repairs.
- **Repair, Safety Issue:** No safety springs/cables were noted on the south garage door springs. The installation of the springs/cables would improve safety during operation.
- **Monitor:** The garage floor slab has typical cracks usually the result of shrinkage and/or settling of the slab as it cures. Shrinkage cracks are very common and are not normally a concern. Some surface deterioration was also observed.

### Lot Drainage

- **Monitor, Repair:** Due to the snow cover the grading was not visible. The grading should be improved and/or maintained to promote the flow of storm water away from the house. This can often be accomplished by the addition of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first five feet. At least eight (8) inches of clearance should be maintained between soil level and the bottom of exterior wall siding. ***It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future. If another rain occurs before closing, it's recommended the basement be viewed again for any signs of moisture penetration.***

### Driveway

- **Monitor:** The driveway has settled and cracked. Persisting movement may result in the need for repairs.

### Retaining Wall

- **Monitor:** It's difficult to tell with the snow cover but the retaining wall may have some slight movement occurring. This condition should be monitored. It is impossible to determine the rate of movement during a one time visit to the house.

### Service / Entrance

- **Improve:** The service wires do not have adequate clearance from the ground for today's standards. The top of the service mast and the service wires should be at least fifteen (15) feet from the ground. If electrical work is planned that requires a permit the home owner may be required to improve the clearance.

### Main Panel

- **Repair:** Oversized breaker within the main distribution panel for the air condition should be replaced if there is no fuse or breaker in the quick disconnect outside by the unit. The data plate on the unit specifies a maximum breaker size of 30 Amps and the one in the panel is 40 Amps.
- **Repair:** Circuits within the main distribution panel that are doubled up (referred to as "double taps") should be separated. Each circuit should be served by a separate fuse or breaker. **Repaired**

### Distribution Wiring

- **Repair:** Abandoned wiring in the attic should be removed or appropriately terminated. **Repaired**
- **Repair:** Improper electrical connections over the workbench light should be repaired. All electrical connections should be made inside junction boxes fitted with cover plates. **Repaired**

### Outlets

- **Repair:** An outlet on the workbench has reversed polarity (i.e. it is wired backwards). This outlet and the circuit should be investigated and repaired as necessary. **Repaired**

- **Repair:** Ungrounded 3-prong outlets in the kitchen and east wall of the master bedroom marked with blue tape should be repaired. In some cases a ground wire may be present in the electrical box and simply needs to be connected. If no ground is present “repair” can be as simple as replacing with two-holed outlets. **Kitchen repaired**
- **Repair:** A ground fault circuit interrupter (GFCI) outlet on the front porch did not respond correctly to testing during the inspection. This receptacle should be wired to function properly or replaced.

### Lights

- **Repair:** The florescent light just inside the unfinished basement does not work properly. If the bulbs are not bad, the fixture should be repaired. **Repaired**

### Furnace

- **Repair:** The humidifier has lacked maintenance and is inoperative. Cleaning and repairs should be undertaken. Watch out for humidifier leaks into the furnace where costly (and hidden) damage can occur.

### Gas Piping

- **Repair, Safety Issue:** *A gas leak was detected with a TIF 8800 gas/carbon monoxide detector and confirmed with soapy water in the furnace shut off valve. This is a safety concern. It is recommended that the gas utility, HVAC company or plumber be engaged as soon as possible to make the necessary repairs. The current occupants of the home should also be notified.* **Repaired**
- **Monitor, Repair:** Copper tubing and galvanized steel is no longer suitable for gas piping by most gas utility companies. This should be confirmed or verified with the local gas company and if confirmed it’s recommended any copper tubing or galvanized pipe be replaced with one of suitable material. **All piping approved by the Gas Company when leak repaired**

### Plumbing Fixtures

- **Repair:** The hallway bathtub faucets are leaking.

### Sump Pump

- **Note:** The sump pump is sealed as part of the radon mitigation system and therefore could not be tested.

### Wall / Ceiling Finishes

- **Monitor:** Water staining and damage from plumbing repairs was noted on the garage ceiling.
- **Monitor, Repair:** Damage to the basement tile ceiling and paneling was observed.
- **Monitor:** Other typical drywall and/or plaster flaws were observed that could include loose tape, minor cracks, rough seams, peeling paper, nail popping, minor patching, loose or bulging plaster, etc. Any repairs would be discretionary.

### Windows

- **Monitor:** The bathroom windows are stuck shut. Improvement can be undertaken as desired.

### Doors

- **Repair:** Door to the northwest bedroom bath should be adjusted as necessary to latch properly.

### Basement Leakage

- **Monitor:** No evidence of moisture penetration was visible in the basement at the time of the inspection. *It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future.* The vast majority of basement leakage problems are the result of insufficient control of storm water at the surface. The ground around the house should be sloped to encourage water to flow away from the foundation. Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation or into a functional storm sewer. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation are the most common source of basement leakage. Please refer to the Roofing and Exterior sections of the report for more information.

In the event that basement leakage problems are experienced, lot and roof drainage improvements should be undertaken as a first step. Please beware of contractors who recommend expensive solutions. Excavation, damp-proofing and/or the installation of drainage tiles should be a last resort. In some cases, however, it is necessary. Your plans for using the basement may also influence the approach taken to curing any dampness that is experienced. If another rain occurs before closing, it’s recommended the basement be viewed again for any signs of moisture penetration.

### Fireplaces

- **Monitor, Repair:** The fireplace firebox mortar should be improved.
- **Recommend:** The fireplace chimney should be inspected and cleaned prior to operation.

## **THE SCOPE OF THE INSPECTION**

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All components designated for inspection in the ASHI® Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report.

It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind.

This inspection is visual only. A representative sample of building components are viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of building components is performed.

Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

### **WEATHER CONDITIONS**

Dry weather conditions prevailed at the time of the inspection.

There was snow on the ground during the course of the inspection.

The estimated outside temperature was 25 degrees F.

### **RECENT WEATHER CONDITIONS**

Wet weather conditions have been experienced in the days leading up to the inspection.

Winter weather conditions have been experienced in the days leading up to the inspection.

# Structure

## DESCRIPTION OF STRUCTURE

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<b>Foundation:</b>	•Poured Concrete •50% Of Foundation Was Not Visible From Inside Due To Finished Walls and/or Storage
<b>Columns:</b>	•Steel
<b>Floor Structure:</b>	•Wood Joist
<b>Wall Structure:</b>	•Wood Frame
<b>Ceiling Structure:</b>	•Joist
<b>Roof Structure:</b>	•Rafters •Spaced Plank Sheathing

## STRUCTURE OBSERVATIONS

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### Positive Attributes

The construction of the home is good quality. The materials and workmanship, where visible, are good. The visible joist spans appear to be within typical construction practices. The inspection did not discover evidence of substantial structural movement.

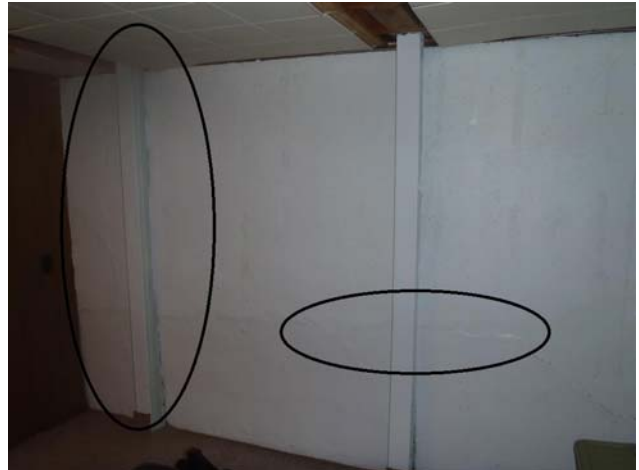
### General Comments

No repair to structural components is necessary at this time.

## RECOMMENDATIONS / OBSERVATIONS

### Foundation

- **Monitor:** Some foundation bowing and cracking was observed. The foundation wall(s) appears to have been properly reinforced with steel beams. This damage is usually the result of excessive soil or frost pressure on the foundation. Lot drainage and foundation improvements should be monitored to keep water away from the building. If additional movement is observed more repairs may be necessary.



- **Monitor:** The basement floor slab has typical cracks usually the result of shrinkage and/or settling of the slab as it cures. Shrinkage cracks are very common and are not normally a concern.

## LIMITATIONS OF STRUCTURE INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Structural components concealed behind finished surfaces could not be inspected.

- Only a representative sampling of visible structural components were inspected.
- Furniture and/or storage restricted access to some structural components.
- Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Roofing

## DESCRIPTION OF ROOFING

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<b>Roof Covering:</b>	•Asphalt Shingle •Multiple Layers(1 <sup>st</sup> is wood shingles) •Roll Roofing
<b>Roof Flashings:</b>	•Metal
<b>Chimneys:</b>	•Masonry
<b>Roof Drainage System:</b>	•Aluminum •Downspouts discharge above grade
<b>Skylights:</b>	•Curb-Type
<b>Method of Inspection:</b>	•Viewed with binoculars

## ROOFING OBSERVATIONS

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### Positive Attributes

Better than average quality materials have been employed as roof coverings. The steep pitch of the roof should result in a longer than normal life expectancy for roof coverings. Roof flashing details appear to be in good order.

### General Comments

In all, the roof coverings show evidence of normal wear and tear for a home of this age. It should be noted that flat roofs have a higher potential for leaks. Leaks can be difficult to repair, as the source of the leakage can be far removed from the water stain that shows up on the interior. Some roofers will insist on re-roofing rather than patching flat roofs. The roof coverings are old and are at or near end of useful life.

## RECOMMENDATIONS / OBSERVATIONS

### Sloped Roofing

- **Note:** The composite roof has been installed over a wood shingle roof. This was an acceptable practice for many years but some insurance companies are now denying home owner coverage with this configuration.



- **Monitor:** Some unevenness in the shingles was observed. This is most likely due to being installed over a wood shingle roof..

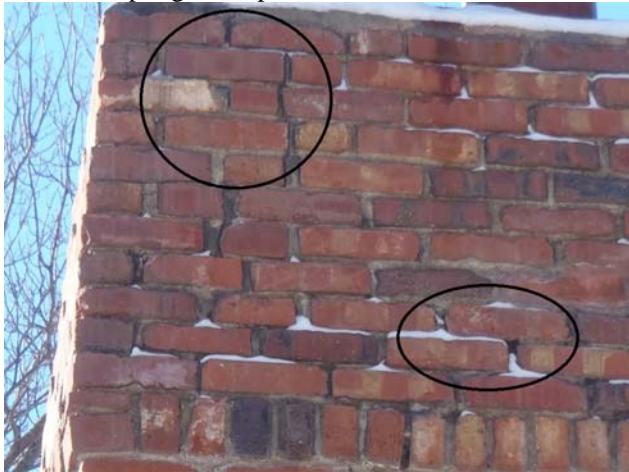


### Flat Roofing

- **Note:** Rolled roofing is prone to leaking and requires close monitoring and higher than normal maintenance. Due to the weather the roof was not visible.

### Chimneys

- **Monitor, Repair:** The masonry chimney shows signs of minor re-pointing (replacing the mortar between the bricks) that may be needed. Although repair is not critical at this time it should be monitored closely. A closer look is advisable in the spring and repaired at that time if needed.



- **Monitor, Repair:** The masonry chimney shows evidence of spalling (surface deterioration of the masonry). Repair is not critical at this time but this condition should be monitored.



## **LIMITATIONS OF ROOFING INSPECTION**

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Not all of the underside of the roof sheathing is inspected for evidence of leaks.
- Evidence of prior leaks may be disguised by interior finishes.
- Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, and other factors.
- Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.
- Roof inspection may be limited by access, condition, weather, or other safety concerns.
- Portions of the roof were viewed from the ground using binoculars. Some sections of the roof could not be viewed.
- Snow on the roof restricted the inspection.
- Some sections of the roofing surface were concealed from view.
- A chimney was not entirely visible during the inspection of the roofing system.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Exterior

## DESCRIPTION OF EXTERIOR

<b>Wall Covering:</b>	•Brick •Wood Shingle
<b>Eaves, Soffits, And Fascias:</b>	•Wood
<b>Exterior Doors:</b>	•Metal
<b>Window/Door Frames and Trim:</b>	•Wood
<b>Entry Driveways:</b>	•Concrete •Not visible due to snow
<b>Entry Walkways And Patios:</b>	•Concrete •Not visible due to snow
<b>Porches, Decks, Steps, Railings:</b>	•Concrete •Wood •Not visible due to snow
<b>Overhead Garage Door(s):</b>	•Wood •Automatic Opener Installed
<b>Surface Drainage:</b>	•Not visible due to snow
<b>Retaining Walls:</b>	•Block
<b>Fencing:</b>	•Chain Link

## EXTERIOR OBSERVATIONS

### Positive Attributes

The wood window frames are in generally good condition. There is no significant wood/soil contact around the perimeter of the house, thereby reducing the risk of insect infestation or rot. The auto reverse mechanism on the overhead garage door responded properly to testing. This safety feature should be tested regularly as a door that doesn't reverse can injure someone or fall from the ceiling. Refer to the owner's manual or contact the manufacturer for more information. The driveway and walkways are in good condition. The garage appears to be fully insulated. The garage completely finished. Freeze resistant hose bibs (exterior faucets) have been installed.

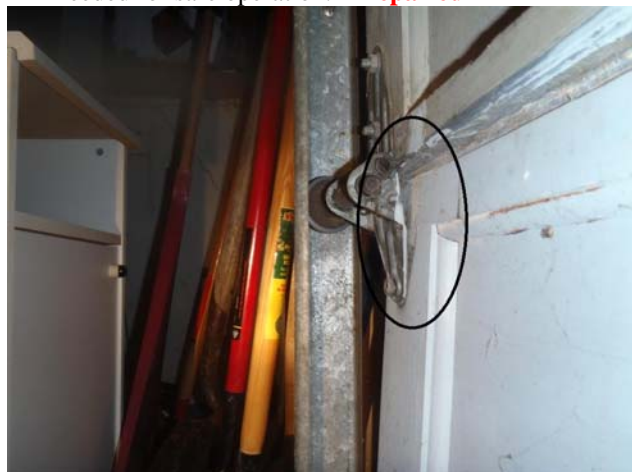
### General Comments

The exterior of the home is generally in good condition. The exterior of the home shows normal wear and tear for a home of this age.

## RECOMMENDATIONS / OBSERVATIONS

### Garage

- **Repair, Safety Issue:** The lower panels on the south overhead garage door are uneven due to a loose hinge. Repair is needed for safe operation. **Repaired**



- **Monitor, Repair:** Both overhead garage doors show evidence of localized water damage and/or rot and needs repairs.



- **Repair, Safety Issue:** No safety springs/cables were noted on the south garage door springs. The installation of the springs/cables would improve safety during operation.



- **Monitor:** The garage floor slab has typical cracks usually the result of shrinkage and/or settling of the slab as it cures. Shrinkage cracks are very common and are not normally a concern. Some surface deterioration was also observed.

#### Lot Drainage

- **Monitor, Repair:** Due to the snow cover the grading was not visible. The grading should be improved and/or maintained to promote the flow of storm water away from the house. This can often be accomplished by the addition of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first five feet. At least eight (8) inches of clearance should be maintained between soil level and the bottom of exterior wall siding. ***It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future. If another rain occurs before closing, it's recommended the basement be viewed again for any signs of moisture penetration.***

### Driveway

- **Monitor:** The driveway has settled and cracked. Persisting movement may result in the need for repairs.

### Retaining Wall

- **Monitor:** It's difficult to tell with the snow cover but the retaining wall may have some slight movement occurring. This condition should be monitored. It is impossible to determine the rate of movement during a one time visit to the house.



## LIMITATIONS OF EXTERIOR INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- A representative sample of exterior components was inspected rather than every occurrence of components.
- The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.
- Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.
- Automobile(s) in the garage restricted the inspection.
- Storage in the garage restricted the inspection.
- Access below decks and/or porches was not possible.
- Snow restricted an inspection of the lot and various other aspects of the exterior of the house.





Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Electrical

## DESCRIPTION OF ELECTRICAL

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<b>Size of Electrical Service:</b>	•120/240 Volt Main Service - Service Size: 100 Amps •120/240 Volt Second Service - Service Size: 100 Amps
<b>Service Drop:</b>	•Overhead
<b>Service Entrance Conductors:</b>	•Aluminum
<b>Service Equipment &amp; Main Disconnects:</b>	•Main Service Rating 100 Amps •Second Service Rating 100 Amps •Breakers •Located: Basement
<b>Service Grounding:</b>	•Copper •Water Pipe Connection
<b>Service Panel &amp; Overcurrent Protection:</b>	•Panel Rating: 100 Amp •Breakers •Located: Basement
<b>Distribution Wiring:</b>	•Copper
<b>Wiring Method:</b>	• Non-Metallic Cable "Romex"
<b>Switches &amp; Receptacles:</b>	•Grounded and Ungrounded
<b>Ground Fault Circuit Interrupters:</b>	•Bathroom(s) •Exterior •Electrical Panel
<b>Smoke Detectors:</b>	•Present

## ELECTRICAL OBSERVATIONS

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### Positive Attributes

The size of the electrical service is sufficient for typical single family needs. The electrical panel is well arranged and all fuses/breakers are properly sized relative to the wiring. Generally speaking, the electrical system is in good order. The distribution of electricity within the home is good. Ground fault circuit interrupter (GFCI) devices have been provided in some areas of the home. These devices are extremely valuable, as they offer an extra level of shock protection. All GFCI's that were tested responded properly unless otherwise noted below. Dedicated 220 volt circuits have been provided for all 220 volt appliances within the home. All visible wiring within the home is copper. This is a good quality electrical conductor.

### General Comments

Inspection of the electrical system revealed the need for typical, minor repairs. Although these are not costly to repair, they should be high priority for safety reasons. *Unsafe electrical conditions represent a shock hazard.* A licensed electrician should be consulted to undertake the repairs recommended below and any others that may be discovered during their inspection of the electrical system.

## RECOMMENDATIONS / OBSERVATIONS

### Outlets

- **Repair:** An outlet on the workbench has reversed polarity (i.e. it is wired backwards). This outlet and the circuit should be investigated and repaired as necessary. **Repaired**
- **Repair:** Ungrounded 3-prong outlets in the kitchen and east wall of the master bedroom marked with blue tape should be repaired. In some cases a ground wire may be present in the electrical box and simply needs to be connected. If no ground is present "repair" can be as simple as replacing with two-holed outlets. **Kitchen repaired**
- **Repair:** A ground fault circuit interrupter (GFCI) outlet on the front porch did not respond correctly to testing during the inspection. This receptacle should be wired to function properly or replaced.

### Lights

- **Repair:** The florescent light just inside the unfinished basement does not work properly. If the bulbs are not bad, the fixture should be repaired. **Repaired**

### Service / Entrance

- **Improve:** The service wires do not have adequate clearance from the ground for today's standards. The top of the service mast and the service wires should be at least fifteen (15) feet from the ground. If electrical work is planned that requires a permit the home owner may be required to improve the clearance.



### Main Panel

- **Repair:** Oversized breaker within the main distribution panel for the air condition should be replaced if there is no fuse or breaker in the quick disconnect outside by the unit. The data plate on the unit specifies a maximum breaker size of 30 Amps and the one in the panel is 40 Amps.
- **Repair:** Circuits within the main distribution panel that are doubled up (referred to as "double taps") should be separated. Each circuit should be served by a separate fuse or breaker. **Repaired**



### Distribution Wiring

- **Repair:** Abandoned wiring in the attic should be removed or appropriately terminated. **Repaired**



- **Repair:** Improper electrical connections over the workbench light should be repaired. All electrical connections should be made inside junction boxes fitted with cover plates. **Repaired**



### Discretionary Improvements

The installation of ground fault circuit interrupter (GFCI) devices is advisable on exterior, garage, bathroom and some kitchen outlets. Any whirlpool or swimming pool equipment should also be fitted with GFCI's as they offer protection from shock or electrocution.

## LIMITATIONS OF ELECTRICAL INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Electrical components concealed behind finished surfaces are not inspected.
- Only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage restricted access to some electrical components which may not be inspected.
- The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, and other components which are not part of the primary electrical power distribution system.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Heating

## DESCRIPTION OF HEATING

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<b>Energy Source:</b>	•Gas
<b>Heating System Type:</b>	•Forced Air Furnace •Manufacturer: Inter-City Products •Serial Number: L953343201
<b>Vents, Flues, Chimneys:</b>	•Plastic
<b>Heat Distribution Methods:</b>	•Ductwork
<b>Other Components:</b>	•Humidifier

## HEATING OBSERVATIONS

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### Positive Attributes

The heating system is in generally good condition. Adequate heating capacity is provided by the system. Heating a home with a this type of heating system should be relatively economical. Heat distribution within the home is adequate.

### General Comments

The heating system shows no visible evidence of major defects. No repairs to the heating system are necessary at this time.

## RECOMMENDATIONS / OBSERVATIONS

### Furnace

- **Repair:** The humidifier has lacked maintenance and is inoperative. Cleaning and repairs should be undertaken. Watch out for humidifier leaks into the furnace where costly (and hidden) damage can occur.



## LIMITATIONS OF HEATING INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- The adequacy of heat supply or distribution balance is not inspected.
- The interior of flues or chimneys which are not readily accessible are not inspected.
- The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected.
- Solar space heating equipment/systems are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Cooling / Heat Pumps

## DESCRIPTION OF COOLING / HEAT PUMPS

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<b>Energy Source:</b>	•Electricity
<b>Central System Type:</b>	•Air Cooled Central Air Conditioning •Manufacturer: Goodman •Serial Number: 0806307157
<b>Size of Circuit:</b>	•Circuit Size: Minimum Circuit Size 20.2 Amps/Maximum Circuit Breaker Size 30 Amps •Breaker Size In Main Panel: 40 Amps
<b>Through-Wall Equipment:</b>	•Present At master Bedroom
<b>Other Components:</b>	•House Fan

## COOLING / HEAT PUMPS OBSERVATIONS

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### Positive Attributes

The capacity and configuration of the system should be sufficient for the home. This is a relatively new system that should have many years of useful life remaining. Regular maintenance will, of course, be necessary. The location of the return air vents is well suited to air conditioning.

### RECOMMENDATIONS / OBSERVATIONS

## LIMITATIONS OF COOLING / HEAT PUMPS INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Window mounted air conditioning units are not inspected.
- The cooling supply adequacy or distribution balance are not inspected.
- The air conditioning system could not be tested as the outdoor temperature was below 60 degrees F.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Insulation / Ventilation

## DESCRIPTION OF INSULATION / VENTILATION

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<b>Attic Insulation:</b>	•Loose Fiberglass/Mineral Wool in Main Attic
<b>Exterior Wall Insulation:</b>	•Not Visible
<b>Basement Wall Insulation:</b>	•None Visible
<b>Vapor Retarders:</b>	•Unknown
<b>Roof Ventilation:</b>	•Roof Vents •Soffit Vents
<b>Exhaust Fan/vent Locations:</b>	•Bathroom •Dryer

## INSULATION / VENTILATION OBSERVATIONS

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### Positive Attributes

Insulation levels are typical for a home of this age and construction.

### General Comments

Upgrading insulation levels in a home is an improvement rather than a necessary repair.

### RECOMMENDATIONS / ENERGY SAVING SUGGESTIONS

## LIMITATIONS OF INSULATION / VENTILATION INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- An analysis of indoor air quality is not part of our inspection unless explicitly contracted-for and discussed in this or a separate report.
- Any estimates of insulation R values or depths are rough average values.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Plumbing

## DESCRIPTION OF PLUMBING

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<b>Water Supply Source:</b>	•Public Water Supply
<b>Service Pipe to House:</b>	•Copper
<b>Main Water Valve Location:</b>	•Front Wall of Basement
<b>Interior Supply Piping:</b>	•Copper
<b>Waste System:</b>	•Public Sewer System
<b>Drain, Waste, &amp; Vent Piping:</b>	•Copper
<b>Water Heater:</b>	•Gas •Approximate Capacity (in gallons): 50 •Manufacturer: American •Serial Number: 1019T402412
<b>Fuel Shut-Off Valves:</b>	•Natural Gas Main Valve At Meter
<b>Other Components:</b>	•Sump Pump

## PLUMBING OBSERVATIONS

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### Positive Attributes

The plumbing system is in generally good condition. The piping system within the home, for both supply and waste, is a good quality system. The water pressure supplied to the fixtures is reasonably good. A typical drop in flow was experienced when two fixtures were operated simultaneously. The water heater is a relatively new unit. As the typical life expectancy of water heaters is 7 to 12 years, this unit should have several years of remaining life.

### General Comments

The plumbing system requires some typical minor improvements.

## RECOMMENDATIONS / OBSERVATIONS

### Gas Piping

- **Repair, Safety Issue:** *A gas leak was detected with a TIF 8800 gas/carbon monoxide detector and confirmed with soapy water in the furnace shut off valve. This is a safety concern. It is recommended that the gas utility, HVAC company or plumber be engaged as soon as possible to make the necessary repairs. The current occupants of the home should also be notified. **Repaired***



- **Monitor, Repair:** Copper tubing and galvanized steel is no longer suitable for gas piping by most gas utility companies. This should be confirmed or verified with the local gas company and if confirmed it's recommended any copper tubing or galvanized pipe be replaced with one of suitable material. **All piping approved by the Gas Company when leak repaired**



### Plumbing Fixtures

- **Repair:** The hallway bathtub faucets are leaking.



### Sump Pump

- **Note:** The sump pump is sealed as part of the radon mitigation system and therefore could not be tested.

## LIMITATIONS OF PLUMBING INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.
- Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.
- Clothes washing machine connections are not inspected.
- Interiors of flues or chimneys which are not readily accessible are not inspected.
- Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Interior

## DESCRIPTION OF INTERIOR

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- |                                      |  |
|--------------------------------------|--|
| <b>Wall And Ceiling Materials:</b>   | •Drywall •Paneling •Tile                                     |
| <b>Floor Surfaces:</b>               | •Carpet •Tile •Wood  |
| <b>Window Type(s) &amp; Glazing:</b> | •Casement •Double/Single Hung •Single Pane with Storm Window |
| <b>Doors:</b>                        | •Wood-Hollow Core •Storm Door(s)                             |

## INTERIOR OBSERVATIONS

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### General Condition of Interior Finishes

On the whole, the interior finishes of the home are in average condition. Typical flaws were observed in some areas.

### General Condition of Windows and Doors

The majority of the doors and windows are good quality.

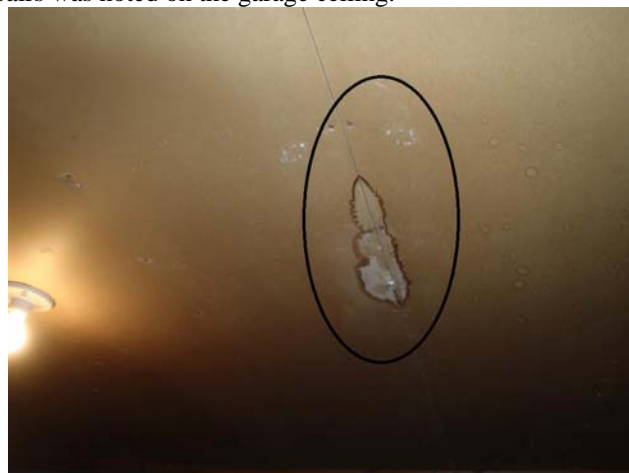
### General Condition of Floors

The floors of the home are relatively level and walls are relatively plumb.

## RECOMMENDATIONS / OBSERVATIONS

### Wall / Ceiling Finishes

- **Monitor:** Water staining and damage from plumbing repairs was noted on the garage ceiling.



- **Monitor, Repair:** Damage to the basement tile ceiling and paneling was observed.





- **Monitor:** Other typical drywall and/or plaster flaws were observed that could include loose tape, minor cracks, rough seams, peeling paper, nail popping, minor patching, loose or bulging plaster, etc. Any repairs would be discretionary.

#### Windows

- **Monitor:** The bathroom windows are stuck shut. Improvement can be undertaken as desired.

#### Doors

- **Repair:** Door to the northwest bedroom bath should be adjusted as necessary to latch properly.

#### Basement Leakage

- **Monitor:** No evidence of moisture penetration was visible in the basement at the time of the inspection. *It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future.* The vast majority of basement leakage problems are the result of insufficient control of storm water at the surface. The ground around the house should be sloped to encourage water to flow away from the foundation. Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation or into a functional storm sewer. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation are the most common source of basement leakage. Please refer to the Roofing and Exterior sections of the report for more information.

In the event that basement leakage problems are experienced, lot and roof drainage improvements should be undertaken as a first step. Please beware of contractors who recommend expensive solutions. Excavation, damp-proofing and/or the installation of drainage tiles should be a last resort. In some cases, however, it is necessary. Your plans for using the basement may also influence the approach taken to curing any dampness that is experienced. If another rain occurs before closing, it's recommended the basement be viewed again for any signs of moisture penetration.

## LIMITATIONS OF INTERIOR INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects.
- Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.
- Portions of the foundation walls were concealed from view.
- The adequacy of the fireplace draw cannot be determined during a visual inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Appliances

## DESCRIPTION OF APPLIANCES

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<b>Appliances Tested:</b>	•Built-in Electric Oven •Electric Cooktop •Dishwasher •Waste Disposer •Refrigerator
<b>Laundry Facility:</b>	•Dryer Vented to Building Exterior •Hot and Cold Water Supply for Washer •Waste Standpipe for Washer
<b>Other Components Tested:</b>	•Door Bell

## APPLIANCES OBSERVATIONS

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### Positive Attributes

The appliances are to be in generally good condition. Most of the major appliances in the home are newer. All appliances that were tested responded satisfactorily. The kitchen and laundry facilities are well organized.

### RECOMMENDATIONS / OBSERVATIONS

## LIMITATIONS OF APPLIANCES INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Thermostats, timers and other specialized features and controls are not tested.
- The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Fireplaces / Wood Stoves

## DESCRIPTION OF FIREPLACES / WOOD STOVES

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- Fireplaces:** •Masonry Firebox •Gas  
**Vents, Flues, Chimneys:** •Masonry Chimney-Lined

## FIREPLACES / WOOD STOVES OBSERVATIONS

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### General Comments

On the whole, the fireplace and it's components were found to be in average condition. Typical flaws were observed in some areas.

### RECOMMENDATIONS / OBSERVATIONS

#### Fireplaces

- **Monitor, Repair:** The fireplace firebox mortar should be improved.



- **Recommend:** The fireplace chimney should be inspected and cleaned prior to operation.

## LIMITATIONS OF FIREPLACES / WOOD STOVES INSPECTION

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As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- The interiors of flues or chimneys are not inspected.
- Firescreens, fireplace doors, appliance gaskets and seals, automatic fuel feed devices, mantles and fireplace surrounds, combustion make-up air devices, and heat distribution assists (gravity or fan-assisted) are not inspected.
- The inspection does not involve igniting or extinguishing fires nor the determination of draft.
- Fireplace inserts, stoves, or firebox contents are not moved.
- The adequacy of the fireplace draw is not determined during a visual inspection; for safety reasons, if no fire is burning we do not ignite fires nor light paper or other materials.

#### Other Fireplace/Stove Components Not Inspected:

- Interiors of flues or chimneys

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.