



Star Home Inspection Services

Home Inspection Report

618 Huntington Rd, Kansas City, MO 64113

Inspection Date: 05/18/2009

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Report Overview

THE HOUSE IN PERSPECTIVE

CONVENTIONS USED IN THIS REPORT

For your convenience, the following conventions have been used in this report.

Major Concern: a system or component which is considered significantly deficient or is unsafe. Significant deficiencies need to be corrected and, except for some safety items, are likely to involve significant expense.

Safety Issue: denotes a condition that is unsafe and in need of prompt attention.

Repair: denotes a system or component which is missing or which needs corrective action to assure proper and reliable function.

Improve: denotes improvements which are recommended but not required.

Monitor: denotes a system or component needing further investigation and/or monitoring in order to determine if repairs are necessary.

Please note that those observations listed under “Discretionary Improvements” are not essential repairs, but represent logical long term improvements.

IMPROVEMENT RECOMMENDATION HIGHLIGHTS / SUMMARY

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations.

All issues found in this report should be addressed with the appropriate parties to make any improvements, corrections or repairs necessary. All improvements, corrections and repairs should meet the satisfaction of the client named on this report and the inspection agreement associated with this report prior to closing. This report and the findings listed herein are intended for the client only and is not transferable without a signed written agreement.

Foundation

- **Monitor:** Common settlement cracks were observed in the foundation walls. This implies that some structural movement of the building has occurred. Cracks of this type should be watched for any sign of additional movement. In the absence of any sign of ongoing movement, repair should not be necessary.
- **Monitor:** The basement floor slab has typical cracks usually the result of shrinkage and/or settling of the slab as it cures. Shrinkage cracks are very common and are not normally a concern.

Floors

- **Monitor:** Additional steel support posts have been installed in the basement. This suggests some sagging of the floor may have occurred in the past. These areas should be monitored. In the absence of any sign of ongoing movement, repair should not be necessary.

Sloped Roofing

- **Repair:** Exposed nail heads were observed in the roofing shingles and/or ridge caps. All exposed nail heads should be caulked to reduce the potential of leaks.
- **Improve:** Debris should be removed from the roofing to reduce risk of leaks and early roof wear.

Gutters & Downspouts

- **Repair:** The gutters require cleaning to avoid spilling roof runoff around the building – a potential source of water entry or water damage.

Exterior Walls

- **Repair:** The exterior stucco siding paint is peeling and/or worn thin in localized areas. These areas should be painted to prevent water damage or rot in the future (example at chimney stucco).
- **Repair:** The paint on the trim around the siding is peeling. These areas should be painted to prevent water damage and rot (example at trim below windows at 2nd floor on east side of house).
- **Monitor, Repair:** Localized rot was observed in the trim around siding (example at back side of house). Following repair of the damaged areas (which should be combined with exterior painting/maintenance) proper maintenance of the siding and control of water from roof or surface runoff can avoid further damage.
- **Repair:** Wood/soil contact at the base of the siding of the home and garage should be eliminated. Rotted or damaged siding that is uncovered should be repaired. These areas are at risk of additional hidden damage.
- **Monitor, Repair:** Cracks were observed in the exterior stucco walls. Repair is not critical at this time but these cracks should be filled or repaired when exterior painting is planned. There is risk of damage if water can penetrate the walls.
- **Repair:** The exterior garage overhead doors should be painted.

Exterior Eaves

- **Monitor:** Localized damage to the aluminum cover was observed in the fascia (the wooden board to which the gutter is typically fastened) and the soffit.

Garage

- **Repair:** The overhead garage door shows evidence of localized rot and needs repairs.
- **Repair:** The garage door openers are inoperative. They should be repaired as necessary.
- **Monitor:** The garage floor slab has typical cracks usually the result of shrinkage and/or settling of the slab as it cures. Shrinkage cracks are very common and are not normally a concern.

Lot Drainage

- **Monitor:** The patio appears to slope towards the house. This condition can cause water entry in the building. Unfortunately, it is difficult to improve this situation without re-grading the patio adjacent to the foundation. Monitor closely during heavy rains or water runoff. Improvements may be needed if the water does not drain off to the side of the patio and away from the home.

Deck

- **Repair, Safety Issue:** Nail pops in the deck floor were observed. This is a safety issue and the nails should be hammered flush.
- **Monitor:** The deck has been built at grade level. This configuration is prone to rot and insect activity.

Steps

- **Recommend, Safety Issue:** As there is a danger of falling, the loose front steps railing should be repaired.

Driveway/Walkway/Patio

- **Monitor:** The driveway, walkway and patio have settled and cracked. Persisting movement may result in the need for repairs.

Walkway

- **Repair, Safety Issue:** The walkway presents a trip hazard. This condition should be altered for improved safety.

Landscaping

- **Repair:** Shrubs, bushes and/or vines growing on exterior walls need to be trimmed away from the structure to reduce the risk of water damage and insect infestation.

Fencing

- **Repair:** The fencing is in good condition. Minor repairs are needed.

Service / Entrance

- **Improve:** The service wires do not have adequate clearance from the ground. The top of the service mast and the service wires should be at least fifteen (15) feet from the ground.

Distribution Wiring

- **Repair:** Improper electrical connections should be repaired (examples at basement ceiling). All electrical connections should be made inside junction boxes fitted with cover plates.

Knob & Tube Wiring

- **Repair:** Any knob-and-tube wiring that is exposed during renovations should be replaced.

Outlets

- **Repair:** An outlet at the floor in the family room is loose. It should be replaced.
- **Repair:** Ungrounded 3-prong outlets marked with blue tape should be repaired. In some cases a ground wire may be present in the electrical box and simply needs to be connected. If no ground is present “repair” can be as simple as filling the ground slot with epoxy. Better, since having a ground increases safety, a grounded circuit could be strung to this outlet, or a separate ground wire could be connected. Some electrical codes allow the installation of a ground fault circuit interrupter (GFCI) type outlet where grounding is not provided. In this case the GFCI may work but can’t be tested by normal means.
- **Repair:** Missing outlet cover plates should be replaced to avoid a shock hazard (example at family room floor outlet).

Switches

- **Monitor:** The function of the light switch in the kitchen marked with blue tape is unknown. Further investigation is required.
- **Repair:** Missing switch cover plates should be replaced to avoid a shock hazard (example at northwest upstairs bedroom).

Lights

- **Repair:** The light is inoperative (examples in basement, bathroom at top of basement stairs, dining room, kitchen, front entry, screened porch and bathrooms). If the bulbs are not blown, the circuit should be repaired.
- **Repair:** The damaged light fixture(s) in the kitchen should be repaired or replaced.
- **Monitor, Repair:** The light fixture in the northwest bedroom is missing the glass cover. Repair is discretionary.

Smoke Detectors

- **Repair:** The installation of smoke detectors outside sleeping areas is recommended.

Furnace

- **Repair:** The humidifier has lacked maintenance. Cleaning and repairs should be undertaken. Watch out for humidifier leaks into the furnace where costly (and hidden) damage can occur.
- **Monitor:** Insulation on a small area of the distribution piping in the basement may contain asbestos. *The Environmental Protection Agency (E.P.A.) reports that asbestos represents a health hazard if “friable” (damaged, crumbling, or in any state that allows the release of fibers).* If replacement of the boiler necessitates the removal of the asbestos containing insulation, an asbestos removal specialist should be engaged. If any sections of this insulation are indeed friable, or become friable over time, a specialist should also be engaged. Further guidance is available from the Environmental Protection Agency (E.P.A.). There may be other materials within the home that contain asbestos but are not identified by this inspection report.

Central Air Conditioning

- **Improve:** The outdoor unit of the air conditioning system requires cleaning.

Water Heater

- **Monitor:** The water heater is an old unit that may be approaching the end of its useful life. It would be wise to budget for a new unit. One cannot predict with certainty when replacement will become necessary.

Waste / Vent

- **Repair:** The waste piping at the front wall of the basement is damaged. (This piping may no longer be in use).

Plumbing Fixtures

- **Repair:** The faucet handle at the master bath shower is leaking.
- **Monitor:** The sink at the upstairs hall bathroom is cracked.
- **Repair:** The sink drain plugs in the at the master bathroom and upstairs hall bathrooms are inoperative or missing and needs repair.
- **Monitor:** The sinks at the upstairs hall bathroom were observed to drain slowly, suggesting that an obstruction may exist.
- **Repair:** The toilet at the top of the basement stairs is inoperative.
- **Improve:** Cracked, deteriorated and/or missing master shower stall grout and caulk should be replaced.
- **Repair:** The base of the master bathroom shower stall should be rebuilt. Wall or floor damage beneath the enclosure should also be repaired.
- **Improve:** Cracked, deteriorated and/or missing bathtub enclosure grout and/or caulk at the upstairs hall bath should be replaced.
- **Improve:** Cracked, deteriorated and/or missing bathtub enclosure caulk at the upstairs hall bathroom should be replaced.
- **Repair:** The shower soap holder at the upstairs hall bathroom is damaged.

Waste Disposer

- **Repair:** The splash guard for the waste disposer is damaged.

Refrigerator

- **Repair:** The refrigerator door handles are damaged.

Wall / Ceiling Finishes

- **Monitor:** Evidence of patching was detected.
- **Monitor:** Typical plaster wall flaws were observed that could include minor cracks, peeling paper, minor patching, etc. Any repairs would be discretionary.
- **Monitor:** Loose or weakened finishes were detected (example at kitchen ceiling).
- **Monitor:** Signs of mildew were observed (example at basement wall(s)).
- **Repair:** The attic hatch trim is loose.
- **Repair:** Tile/grout damage was noted at kitchen countertop tile backsplash.

Floors

- **Monitor:** The tile floor at the fireplace hearth is cracked.
- **Monitor, Repair:** The vinyl flooring in the upstairs hall bathroom is worn/damaged
- **Monitor:** The carpet is stained.
- **Monitor:** Surface wear was noted on the hardwood floors.

Windows

- **Monitor:** Most of the window(s) are painted shut. Improvement can be undertaken as desired.
- **Repair:** The window at the southwest bedroom is cracked.
- **Repair:** Sash cords (the ropes that hold up the windows) are missing on some windows.
- **Repair:** Damaged screens were noted on window(s) (example at basement window).
- **Repair:** The basement window well should be cleaned out and the window closed to prevent water and insect entry.
- **Repair:** The screen for the laundry and east side storm doors are damaged.

Doors

- **Repair:** Doors should be trimmed or adjusted as necessary to work properly (examples at entryway closet and northwest bedroom closet)
- **Monitor:** The door from the kitchen to the front entry is locked and no key was found.
- **Repair:** The door to the bathroom at the top of the stairs is missing.
- **Repair:** The weather strip on the east storm door is damaged and/or missing. Repair is needed.
- **Repair:** Damaged or non-functional door hardware should be improved (example at master bathroom and east storm door).
- **Monitor, Repair:** Pet damage was noted on the door(s). (example at east side door)
- **Repair:** The front storm door should be adjusted to close properly and the safety chain is missing.

Kitchen Counters

- **Repair:** Damaged, missing or loose caulk of the countertops backsplash in the kitchen should be improved.

Kitchen Cabinets

- **Repair:** Missing or damaged cabinet handles in the kitchen should be repaired.
- **Monitor, Improve:** Painting of the kitchen cabinets would be desirable.

Basement Leakage

- **Monitor:** The basement shows evidence of moisture penetration. *It should be understood that it is impossible to predict the severity or frequency of moisture penetration on a one-time visit to a home.* Virtually all basements exhibit signs of moisture penetration and virtually all basements will indeed leak at some point in time. The visible evidence is not unusual for a home of this age, construction and location. Further monitoring of the foundation will be required to determine what improvements, if any, will be required. Basement leakage rarely affects the structural integrity of a home.

The vast majority of basement leakage problems are the result of insufficient control of storm water at the surface. The ground around the house should be sloped to encourage water to flow away from the foundations. Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation or into a functional storm sewer. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation are the most common source of basement leakage. Please refer to the Roofing and Exterior sections of the report for more information.

In the event that basement leakage problems are experienced, lot and roof drainage improvements should be undertaken as a first step. Please beware of contractors who recommend expensive solutions. Excavation, damp-proofing and/or the installation of drainage tiles should be a last resort. In some cases, however, it is necessary. Your plans for using the basement may also influence the approach taken to curing any dampness that is experienced.

For owners of many old homes, basement leakage is a way of life. During rainy periods, or during the spring thaw, leakage is experienced. As basement leakage rarely influences the structural integrity of a home, and because basements of old homes usually remain unfinished, this condition is simply tolerated. Some precautions are, of course, taken to avoid damage to storage and personal belongings.

THE SCOPE OF THE INSPECTION

All components designated for inspection in the ASHI® Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report.

It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind.

Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

Structure

DESCRIPTION OF STRUCTURE

Foundation:	•Stone •Basement Configuration
Columns:	•Steel •Wood
Floor Structure:	•Wood Joist •Concrete
Wall Structure:	•Wood Frame
Ceiling Structure:	•Joist
Roof Structure:	•Rafters •Plywood Sheathing over Solid Plank Sheathing (garage roof) •Waferboard Sheathing Over Spaced Plank Sheathing (House roof)

STRUCTURE OBSERVATIONS

Positive Attributes

The construction of the home is good quality. The materials and workmanship, where visible, are good. The visible joist spans appear to be within typical construction practices. The inspection did not discover evidence of substantial structural movement.

General Comments

No major defects were observed in the accessible structural components of the house.

RECOMMENDATIONS / OBSERVATIONS

Foundation

- **Monitor:** Common settlement cracks were observed in the foundation walls. This implies that some structural movement of the building has occurred. Cracks of this type should be watched for any sign of additional movement. In the absence of any sign of ongoing movement, repair should not be necessary.
- **Monitor:** The basement floor slab has typical cracks usually the result of shrinkage and/or settling of the slab as it cures. Shrinkage cracks are very common and are not normally a concern.

Floors

- **Monitor:** Additional steel support posts have been installed in the basement. This suggest some sagging of the floor may have occurred in the past. These areas should be monitored. In the absence of any sign of ongoing movement, repair should not be necessary.



LIMITATIONS OF STRUCTURE INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Structural components concealed behind finished surfaces could not be inspected.
- Only a representative sampling of visible structural components were inspected.
- Furniture and/or storage restricted access to some structural components.
- Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Roofing

DESCRIPTION OF ROOFING

Roof Covering:	•Asphalt Shingle
Roof Flashings:	•Metal
Chimneys:	•Masonry
Roof Drainage System:	•Galvanized Steel •Downspouts discharge above & below grade
Skylights:	•None
Method of Inspection:	•Walked on roof

ROOFING OBSERVATIONS

Positive Attributes

The roof coverings are to be in generally good condition. During re-roofing, it appears that the old roofing materials were removed before the installation of the existing roofing materials. The installation of the roofing materials has been performed in a professional manner. The quality of the installation is above average. The chimneys do not show signs of significant deterioration.

RECOMMENDATIONS / OBSERVATIONS

Sloped Roofing

- **Repair:** Exposed nail heads were observed in the roofing shingles and/or ridge caps. All exposed nail heads should be caulked to reduce the potential of leaks.
- **Improve:** Debris should be removed from the roofing to reduce risk of leaks and early roof wear.



Gutters & Downspouts

- **Repair:** The gutters require cleaning to avoid spilling roof runoff around the building – a potential source of water entry or water damage.



LIMITATIONS OF ROOFING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Not all of the underside of the roof sheathing is inspected for evidence of leaks.
- Evidence of prior leaks may be disguised by interior finishes.
- Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, and other factors.
- Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.
- Roof inspection may be limited by access, condition, weather, or other safety concerns.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Exterior

DESCRIPTION OF EXTERIOR

Wall Covering:	•Stucco • Wood Trim •Board & Bat
Eaves, Soffits, And Fascias:	•Aluminum •Wood
Exterior Doors:	•Solid Wood
Window/Door Frames and Trim:	•Wood
Entry Driveways:	•Concrete
Entry Walkways And Patios:	•Concrete
Porches, Decks, Steps, Railings:	•Concrete •Treated Wood
Overhead Garage Door(s):	•Wood •Automatic Opener Installed
Surface Drainage:	•Level Grade
Retaining Walls:	•Prefab Masonry
Fencing:	•Wood

EXTERIOR OBSERVATIONS

Positive Attributes

The exterior siding that has been installed on the house is relatively low maintenance. Window frames are clad, for the most part, with a low maintenance material. The wood window frames are in generally good condition. The aluminum soffits and fascia are a low-maintenance feature of the exterior of the home.

General Comments

The exterior of the home is generally in good condition.

RECOMMENDATIONS / OBSERVATIONS

Exterior Walls

- **Repair:** The exterior stucco siding paint is peeling and/or worn thin in localized areas. These areas should be painted to prevent water damage or rot in the future (example at chimney stucco).
- **Repair:** The paint on the trim around the siding is peeling. These areas should be painted to prevent water damage and rot (example at trim below windows at 2nd floor on east side of house).



- **Monitor, Repair:** Localized rot was observed in the trim around siding (example at back side of house). Following repair of the damaged areas (which should be combined with exterior painting/maintenance) proper maintenance of the siding and control of water from roof or surface runoff can avoid further damage.
- **Repair:** Wood/soil contact at the base of the siding of the home and garage should be eliminated. Rotted or damaged siding that is uncovered should be repaired. These areas are at risk of additional hidden damage.

- **Monitor, Repair:** Cracks were observed in the exterior stucco walls. Repair is not critical at this time but these cracks should be filled or repaired when exterior painting is planned. There is risk of damage if water can penetrate the walls.
- **Repair:** The exterior garage overhead doors should be painted.

Exterior Eaves

- **Monitor:** Localized damage to the aluminum cover was observed in the fascia (the wooden board to which the gutter is typically fastened) and the soffit.



Garage

- **Repair:** The overhead garage door shows evidence of localized rot and needs repairs.
- **Repair:** The garage door openers are inoperative. They should be repaired as necessary.
- **Monitor:** The garage floor slab has typical cracks usually the result of shrinkage and/or settling of the slab as it cures. Shrinkage cracks are very common and are not normally a concern.

Lot Drainage

- **Monitor:** The patio appears to slope towards the house. This condition can cause water entry in the building. Unfortunately, it is difficult to improve this situation without re-grading the patio adjacent to the foundation. Monitor closely during heavy rains or water runoff. Improvements may be needed if the water does not drain off to the side of the patio and away from the home.

Deck

- **Repair, Safety Issue:** Nail pops in the deck floor were observed. This is a safety issue and the nails should be hammered flush.
- **Monitor:** The deck has been built at grade level. This configuration is prone to rot and insect activity.

Steps

- **Recommend, Safety Issue:** As there is a danger of falling, the loose front steps railing should be repaired.

Driveway/Walkway/Patio

- **Monitor:** The driveway, walkway and patio have settled and cracked. Persisting movement may result in the need for repairs.

Walkway

- **Repair, Safety Issue:** The walkway presents a trip hazard. This condition should be altered for improved safety.

Landscaping

- **Repair:** Shrubs, bushes and/or vines growing on exterior walls need to be trimmed away from the structure to reduce the risk of water damage and insect infestation.

Fencing

- **Repair:** The fencing is in good condition. Minor repairs are needed.



LIMITATIONS OF EXTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- A representative sample of exterior components was inspected rather than every occurrence of components.
- The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.
- Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.
- Storage in the garage restricted the inspection.
- Access below decks and/or porches was extremely limited.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Electrical

DESCRIPTION OF ELECTRICAL

Size of Electrical Service:	•120/240 Volt Main Service - Service Size: 100 Amps
Service Drop:	•Overhead
Service Entrance Conductors:	•Conductors Not Visible
Service Equipment & Main Disconnects:	•Main Service Rating 100 Amps •Breakers •Located: Basement
Service Grounding:	•Copper •Water Pipe Connection
Service Panel & Overcurrent Protection:	•Panel Rating: 100 Amp •Breakers •Located: Basement
Sub-Panel(s):	•None Visible
Distribution Wiring:	•Copper
Wiring Method:	• Non-Metallic Cable "Romex" •Knob-and-Tube Copper
Switches & Receptacles:	•Grounded and Ungrounded
Ground Fault Circuit Interrupters:	•Bathroom(s)
Smoke Detectors:	•Present

ELECTRICAL OBSERVATIONS

Positive Attributes

The size of the electrical service is sufficient for typical single family needs. The electrical panel is well arranged and all fuses/breakers are properly sized. Generally speaking, the electrical system is in good order. The distribution of electricity within the home is good. Ground fault circuit interrupter (GFCI) devices have been provided in some areas of the home. These devices are extremely valuable, as they offer an extra level of shock protection. All GFCI's that were tested responded properly. Dedicated 220 volt circuits have been provided for all 220 volt appliances within the home.

General Comments

Inspection of the electrical system revealed the need for typical, minor repairs. Although these are not costly to repair, they should be high priority for safety reasons. *Unsafe electrical conditions represent a shock hazard.* A licensed electrician should be consulted to undertake the repairs recommended below.

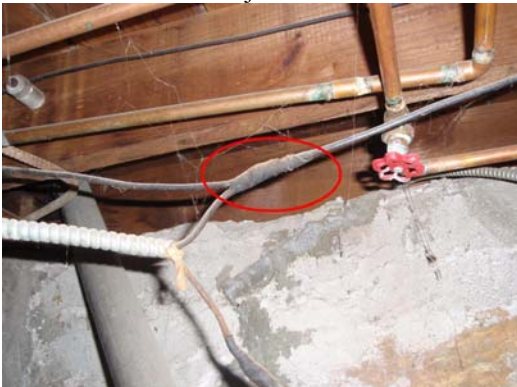
RECOMMENDATIONS / OBSERVATIONS

Service / Entrance

- **Improve:** The service wires do not have adequate clearance from the ground. The top of the service mast and the service wires should be at least fifteen (15) feet from the ground.

Distribution Wiring

- **Repair:** Improper electrical connections should be repaired (examples at basement ceiling). All electrical connections should be made inside junction boxes fitted with cover plates.



Knob & Tube Wiring

- **Repair:** Any knob-and-tube wiring that is exposed during renovations should be replaced.

Outlets

- **Repair:** An outlet at the floor in the family room is loose. It should be replaced.
- **Repair:** Ungrounded 3-prong outlets marked with blue tape should be repaired. In some cases a ground wire may be present in the electrical box and simply needs to be connected. If no ground is present “repair” can be as simple as filling the ground slot with epoxy. Better, since having a ground increases safety, a grounded circuit could be strung to this outlet, or a separate ground wire could be connected. Some electrical codes allow the installation of a ground fault circuit interrupter (GFCI) type outlet where grounding is not provided. In this case the GFCI may work but can’t be tested by normal means.
- **Repair:** Missing outlet cover plates should be replaced to avoid a shock hazard (example at family room floor outlet).

Switches

- **Monitor:** The function of the light switch in the kitchen marked with blue tape is unknown. Further investigation is required.
- **Repair:** Missing switch cover plates should be replaced to avoid a shock hazard (example at northwest upstairs bedroom).

Lights

- **Repair:** The light is inoperative (examples in basement, bathroom at top of basement stairs, dining room, kitchen, front entry, screened porch and bathrooms). If the bulbs are not blown, the circuit should be repaired.
- **Repair:** The damaged light fixture(s) in the kitchen should be repaired or replaced.
- **Monitor, Repair:** The light fixture in the northwest bedroom is missing the glass cover. Repair is discretionary.

Smoke Detectors

- **Repair:** The installation of smoke detectors outside sleeping areas is recommended.

LIMITATIONS OF ELECTRICAL INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Electrical components concealed behind finished surfaces are not inspected.
- Only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage restricted access to some electrical components which may not be inspected.
- The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, and other components which are not part of the primary electrical power distribution system.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Heating

DESCRIPTION OF HEATING

Energy Source:	•Gas
Heating System Type:	•Forced Air Furnace •Manufacturer: International Comfort
	•Serial Number: A064043651
Vents, Flues, Chimneys:	•Metal-Single Wall
Heat Distribution Methods:	•Ductwork
Other Components:	•Humidifier

HEATING OBSERVATIONS

Positive Attributes

The heating system is in generally good condition. Heating a home with a this type of heating system should be relatively economical. Adequate heating capacity is provided by the system. Heat distribution within the home is adequate. The heating system is controlled by a “set back” thermostat. This type of thermostat, if set up correctly, helps reduce heating costs.

General Comments

The heating system shows no visible evidence of major defects.

RECOMMENDATIONS / OBSERVATIONS

Furnace

- **Repair:** The humidifier has lacked maintenance. Cleaning and repairs should be undertaken. Watch out for humidifier leaks into the furnace where costly (and hidden) damage can occur.
- **Monitor:** Insulation on a small area of the distribution piping in the basement may contain asbestos. *The Environmental Protection Agency (E.P.A.) reports that asbestos represents a health hazard if “friable” (damaged, crumbling, or in any state that allows the release of fibers).* If replacement of the boiler necessitates the removal of the asbestos containing insulation, an asbestos removal specialist should be engaged. If any sections of this insulation are indeed friable, or become friable over time, a specialist should also be engaged. Further guidance is available from the Environmental Protection Agency (E.P.A.). There may be other materials within the home that contain asbestos but are not identified by this inspection report.

LIMITATIONS OF HEATING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- The adequacy of heat supply or distribution balance is not inspected.
- The interior of flues or chimneys which are not readily accessible are not inspected.
- The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected.
- Solar space heating equipment/systems are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Cooling / Heat Pumps

DESCRIPTION OF COOLING / HEAT PUMPS

Energy Source:	•Electricity
Central System Type:	•Air Cooled Central Air Conditioning •Manufacturer: International Comfort
	•Serial Number: EU53939614
Size of Circuit:	•Circuit Size: Minimum Circuit Size 25.9 Amps/Maximum Circuit Breaker Size 40 Amps

COOLING / HEAT PUMPS OBSERVATIONS

Positive Attributes

The capacity and configuration of the system should be sufficient for the home. The location of the return air vents is well suited to air conditioning. The system responded properly to operating controls.

General Comments

The system shows no visible evidence of major defects.

RECOMMENDATIONS / OBSERVATIONS

Central Air Conditioning

- **Improve:** The outdoor unit of the air conditioning system requires cleaning.

LIMITATIONS OF COOLING / HEAT PUMPS INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Window mounted air conditioning units are not inspected.
- The cooling supply adequacy or distribution balance are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Insulation / Ventilation

DESCRIPTION OF INSULATION / VENTILATION

Attic Insulation:	•Rolled Fiberglass in Main Attic
Roof Cavity Insulation:	•None Visible
Exterior Wall Insulation:	•Not Visible
Basement Wall Insulation:	•None Visible
Vapor Retarders:	•Kraft Paper
Roof Ventilation:	•Roof Vents •Soffit Vents
Exhaust Fan/vent Locations:	•Bathroom •Dryer

INSULATION / VENTILATION OBSERVATIONS

Positive Attributes

Insulation levels are typical for a home of this age and construction.

RECOMMENDATIONS / ENERGY SAVING SUGGESTIONS

LIMITATIONS OF INSULATION / VENTILATION INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- An analysis of indoor air quality is not part of our inspection unless explicitly contracted-for and discussed in this or a separate report.
- Any estimates of insulation R values or depths are rough average values.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Plumbing

DESCRIPTION OF PLUMBING

Water Supply Source:	•Public Water Supply
Service Pipe to House:	•Copper
Main Water Valve Location:	•Front Wall of Basement
Interior Supply Piping:	•Copper
Waste System:	•Public Sewer System
Drain, Waste, & Vent Piping:	•Plastic •Cast Iron •Steel
Water Heater:	•Gas •Approximate Capacity (in gallons): 50 •Manufacturer: Rudd •Serial Number: 0891A14387
Fuel Shut-Off Valves:	•Natural Gas Main Valve At Meter

PLUMBING OBSERVATIONS

Positive Attributes

The plumbing system is in generally good condition. The piping system within the home, for both supply and waste, is a good quality system. The water pressure supplied to the fixtures is above average. Only a slight drop in flow was experienced when two fixtures were operated simultaneously.

General Comments

The plumbing system requires some typical minor improvements.

RECOMMENDATIONS / OBSERVATIONS

Water Heater

- **Monitor:** The water heater is an old unit that may be approaching the end of its useful life. It would be wise to budget for a new unit. One cannot predict with certainty when replacement will become necessary.

Waste / Vent

- **Repair:** The waste piping at the front wall of the basement is damaged. (This piping may no longer be in use).

Plumbing Fixtures

- **Repair:** The faucet handle at the master bath shower is leaking.
- **Monitor:** The sink at the upstairs hall bathroom is cracked.
- **Repair:** The sink drain plugs in the at the master bathroom and upstairs hall bathrooms are inoperative or missing and needs repair.
- **Monitor:** The sinks at the upstairs hall bathroom were observed to drain slowly, suggesting that an obstruction may exist.
- **Repair:** The toilet at the top of the basement stairs is inoperative.
- **Improve:** Cracked, deteriorated and/or missing master shower stall grout and caulk should be replaced.
- **Repair:** The base of the master bathroom shower stall should be rebuilt. Wall or floor damage beneath the enclosure should also be repaired.
- **Improve:** Cracked, deteriorated and/or missing bathtub enclosure grout and/or caulk at the upstairs hall bath should be replaced.
- **Improve:** Cracked, deteriorated and/or missing bathtub enclosure caulk at the upstairs hall bathroom should be replaced.
- **Repair:** The shower soap holder at the upstairs hall bathroom is damaged.

LIMITATIONS OF PLUMBING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.
- Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.
- Clothes washing machine connections are not inspected.
- Interiors of flues or chimneys which are not readily accessible are not inspected.
- Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Interior

DESCRIPTION OF INTERIOR

Wall And Ceiling Materials:	•Plaster
Floor Surfaces:	•Carpet •Tile •Vinyl/Resilient •Wood •Concrete
Window Type(s) & Glazing:	•Double/Single Hung •Awning •Fixed Pane •Single Pane with Storm Window
Doors:	•Wood-Solid Core •Wood-Hollow Core •Storm Door(s)

INTERIOR OBSERVATIONS

General Condition of Interior Finishes

On the whole, the interior finishes of the home are in average condition. Typical flaws were observed in some areas.

General Condition of Windows and Doors

The majority of the doors and windows are good quality.

General Condition of Floors

The flooring system shows evidence of typical minor sags and unevenness.

RECOMMENDATIONS / OBSERVATIONS

Wall / Ceiling Finishes

- **Monitor:** Evidence of patching was detected.
- **Monitor:** Typical plaster wall flaws were observed that could include minor cracks, peeling paper, minor patching, etc. Any repairs would be discretionary.
- **Monitor:** Loose or weakened finishes were detected (example at kitchen ceiling).
- **Monitor:** Signs of mildew were observed (example at basement wall(s)).
- **Repair:** The attic hatch trim is loose.
- **Repair:** Tile/grout damage was noted at kitchen countertop tile backsplash.

Floors

- **Monitor:** The tile floor at the fireplace hearth is cracked.
- **Monitor, Repair:** The vinyl flooring in the upstairs hall bathroom is worn/damaged
- **Monitor:** The carpet is stained.
- **Monitor:** Surface wear was noted on the hardwood floors.

Windows

- **Monitor:** Most of the window(s) are painted shut. Improvement can be undertaken as desired.
- **Repair:** The window at the southwest bedroom is cracked.
- **Repair:** Sash cords (the ropes that hold up the windows) are missing on windows.
- **Repair:** Damaged screens were noted on window(s) (example at basement window).
- **Repair:** The basement window well should be cleaned out and the window closed to prevent water and insect entry.
- **Repair:** The screen for the laundry and east side storm doors are damaged.

Doors

- **Repair:** Doors should be trimmed or adjusted as necessary to work properly (examples at entryway closet and northwest bedroom closet)
- **Monitor:** The door from the kitchen to the front entry is locked and no key was found.
- **Repair:** The door to the bathroom at the top of the stairs is missing.
- **Repair:** The weather strip on the east storm door is damaged and/or missing. Repair is needed.
- **Repair:** Damaged or non-functional door hardware should be improved (example at master bathroom and east storm door).
- **Monitor, Repair:** Pet damage was noted on the door(s). (example at east side door)
- **Repair:** The front storm door should be adjusted to close properly and the safety chain is missing.

Kitchen Counters

- **Repair:** Damaged, missing or loose caulk of the countertops backsplash in the kitchen should be improved.

Kitchen Cabinets

- **Repair:** Missing or damaged cabinet handles in the kitchen should be repaired.
- **Monitor, Improve:** Painting of the kitchen cabinets would be desirable.

Basement Leakage

- **Monitor:** The basement shows evidence of moisture penetration. *It should be understood that it is impossible to predict the severity or frequency of moisture penetration on a one-time visit to a home.* Virtually all basements exhibit signs of moisture penetration and virtually all basements will indeed leak at some point in time. The visible evidence is not unusual for a home of this age, construction and location. Further monitoring of the foundation will be required to determine what improvements, if any, will be required. Basement leakage rarely affects the structural integrity of a home.

The vast majority of basement leakage problems are the result of insufficient control of storm water at the surface. The ground around the house should be sloped to encourage water to flow away from the foundations. Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation or into a functional storm sewer. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation are the most common source of basement leakage. Please refer to the Roofing and Exterior sections of the report for more information.

In the event that basement leakage problems are experienced, lot and roof drainage improvements should be undertaken as a first step. Please beware of contractors who recommend expensive solutions. Excavation, damp-proofing and/or the installation of drainage tiles should be a last resort. In some cases, however, it is necessary. Your plans for using the basement may also influence the approach taken to curing any dampness that is experienced.

For owners of many old homes, basement leakage is a way of life. During rainy periods, or during the spring thaw, leakage is experienced. As basement leakage rarely influences the structural integrity of a home, and because basements of old homes usually remain unfinished, this condition is simply tolerated. Some precautions are, of course, taken to avoid damage to storage and personal belongings.

LIMITATIONS OF INTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects.
- Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.
- The adequacy of the fireplace draw cannot be determined during a visual inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Appliances

DESCRIPTION OF APPLIANCES

Appliances Tested:	•Electric Range •Electric Cooktop •Microwave Oven •Dishwasher •Waste Disposer
Laundry Facility:	•Dryer Vented to Building Exterior •Hot and Cold Water Supply for Washer
Other Components Tested:	•Waste Standpipe for Washer •Door Bell

APPLIANCES OBSERVATIONS

Positive Attributes

All appliances that were tested responded satisfactorily. The kitchen and laundry facilities are well organized.

General Comments

The appliances are showing signs of aging. As such, they are more prone to breakdowns. A few years of serviceable life should still remain.

RECOMMENDATIONS / OBSERVATIONS

Waste Disposer

- **Repair:** The splash guard for the waste disposer is damaged.

Refrigerator

- **Repair:** The refrigerator door handles are damaged.

LIMITATIONS OF APPLIANCES INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Thermostats, timers and other specialized features and controls are not tested.
- The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Fireplaces / Wood Stoves

DESCRIPTION OF FIREPLACES / WOOD STOVES

- | | |
|--------------------------------|------------------------|
| Fireplaces: | •Masonry Firebox |
| Vents, Flues, Chimneys: | •Masonry Chimney-Lined |

FIREPLACES / WOOD STOVES OBSERVATIONS

Positive Attributes

On the whole, the fireplace and it's components are in above average condition.

RECOMMENDATIONS / OBSERVATIONS

LIMITATIONS OF FIREPLACES / WOOD STOVES INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- The interiors of flues or chimneys are not inspected.
- Firescreens, fireplace doors, appliance gaskets and seals, automatic fuel feed devices, mantles and fireplace surrounds, combustion make-up air devices, and heat distribution assists (gravity or fan-assisted) are not inspected.
- The inspection does not involve igniting or extinguishing fires nor the determination of draft.
- Fireplace inserts, stoves, or firebox contents are not moved.

Other Fireplace/Stove Components Not Inspected:

- Interiors of flues or chimneys

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.