



**Star
Home
Inspection Services**

Home Inspection Report

5121 Stanton Dr, Kansas City, MO 64133

Inspection Date: 08/13/2009

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Report Overview

THE HOUSE IN PERSPECTIVE

This is a well built home. As with all homes, ongoing maintenance is required and improvements to the systems of the home will be needed over time. *The improvements that are recommended in this report are not considered unusual for a home of this age and location.* Please remember that there is no such thing as a perfect home.

CONVENTIONS USED IN THIS REPORT

For your convenience, the following conventions have been used in this report.

Major Concern: a system or component which is considered significantly deficient or is unsafe. Significant deficiencies need to be corrected and, except for some safety items, are likely to involve significant expense.

Safety Issue: denotes a condition that is unsafe and in need of prompt attention.

Repair: denotes a system or component which is missing or which needs corrective action to assure proper and reliable function.

Improve: denotes improvements which are recommended but not required.

Monitor: denotes a system or component needing further investigation and/or monitoring in order to determine if repairs are necessary.

Please note that those observations listed under “Discretionary Improvements” are not essential repairs, but represent logical long term improvements.

- For the purpose of this report, it is assumed that the house faces west.

IMPROVEMENT RECOMMENDATION HIGHLIGHTS / SUMMARY

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations.

All issues found in this report should be addressed with the appropriate parties to make any improvements, corrections or repairs necessary. All improvements, corrections and repairs should meet the satisfaction of the client named on this report and the inspection agreement associated with this report prior to closing. This report and the findings listed herein are intended for the client only and is not transferable without a signed written agreement.

See supporting pictures in each section.

Comments in red are made by the seller. Items not commented on should be considered “As Is”.

Foundation

- **Monitor:** Common minor settlement cracks were observed in the foundation walls. This implies that some structural movement of the building has occurred. Cracks of this type should be watched for any sign of additional movement. In the absence of any sign of ongoing movement, repair should not be necessary.
- **Monitor:** The basement floor slab has typical cracks usually the result of shrinkage and/or settling of the slab as it cures. Shrinkage cracks are very common and are not normally a concern.

Floors

- **Monitor:** Minor amount of construction mold was visible on some floor joists. This is mold that grows on the lumber while lying in the weather during construction. Most homes have some level of this mold and it goes dormant once removed from the elements and normally does not present any problems.

Roof

- **Note:** While investigating the roof structure in the attic, outside light was visible in a couple of places. This is probably from some curling of the shingles. See notes in the roofing section.

Wood Boring Insects

- **Monitor, Repair:** Evidence of termite activity was observed in the garage and there is risk of additional hidden damage. If the property has not already been treated, a licensed pest control specialist should be engaged. Termites can do a substantial amount of damage to the wood structural components of a home. See termite report by third party for additional information and recommendations if any. Seller indicates it is scheduled to be treated in the near future.
Inspected and treated whole house

Sloped Roofing

- **Repair:** The life expectancy of wood roofs is generally 15 to 20 years with some spot repairs or tune ups needed around the 10th year. This will depend on several factors such as the quality of shingle or shake, the slope of the roof (steeper is better), the amount of exposed shingle, and the amount of sun or shade. As with all roofs, annual maintenance is needed. Cracked, curled, or displaced shingles or shakes should be repaired. As a rule of thumb, replacement of the entire roof covering may be logical if more than ten percent of the wood roof requires repair. Some minor curling, a few places of exposed black felt sheathing, loose shingles and minor deterioration of the shingle ends was observed. It's recommended that a roofing contractor be consulted for a second opinion and to get an estimate of any repairs needed. A minor tune up is most likely needed.

Chimneys

- **Repair:** The masonry chimney needs re-pointing (replacing the mortar between the bricks) to avoid water damage on the top of the smoke chamber. **Repaired**
- **Repair:** The cap of the masonry chimney is cracked and deteriorating. This should be repaired to prevent further damage from freezing water. **Repaired**
- **Repair, Safety Issue:** There are gaps in the flue liner. The flue needs to be repaired and the entire flue inspected for safety. **Repaired**

Exterior Walls

- **Repair:** The paint on the trim of the large roof vent over the garage is peeling. These areas should be painted to prevent water damage and rot.

Windows

- **Repair:** Some windows require minor caulking.

Garage

- **Monitor, Repair:** The overhead garage door shows evidence of repaired minor water damage and the hinge bolts are beginning to pull through the door panels and some paint is peeling. These areas should be monitored closely. Maintain with a good coat of paint and keeping any cracks or open areas closed up. **Repaired**
- **Monitor:** The garage floor slab has typical cracks usually the result of shrinkage and/or settling of the slab as it cures. Shrinkage cracks are very common and are not normally a concern.

Lot Drainage

- **Monitor:** The grading should be improved and/or maintained to promote the flow of storm water away from the house. This can often be accomplished by the addition of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first five feet. At least eight (8) inches of clearance should be maintained between soil level and the bottom of exterior wall siding. ***It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future.***

Patio

- **Repair, Safety Issue:** The patio has missing and loose spacer boards creating a trip hazard. This condition should be altered for improved safety.

Driveway

- **Monitor:** The driveway has settled and cracked. Persisting movement may result in the need for repairs.

Walkway

- **Repair, Safety Issue:** The walkway presents a trip hazard. This condition should be altered for improved safety.

Landscaping

- **Monitor:** Shrubs, bushes and/or vines growing on exterior walls should be kept trimmed away from the structure to reduce the risk of water damage and insect infestation. **Repaired**

Outlets

- **Repair:** An outlet by the basement workbench has reversed polarity (i.e. it is wired backwards). This outlet and the circuit should be investigated and repaired as necessary.
- **Repair:** Ungrounded 3-prong outlet on the rear of the house over the patio should be repaired. In some cases a ground wire may be present in the electrical box and simply needs to be connected.

Air Conditioner

- **Monitor, Repair:** The temperature drop does not appear to be sufficient. It's recommended a qualified HVAC technician evaluate the unit and make any repairs necessary. **Repaired**

Attic / Roof

- **Monitor:** While in the attic a bucket was observed next to the kitchen plumbing vent pipe. It appears to have been there for a long time and is dry. It was probably never removed once the roof was replaced or the vent flashing repaired. **Left over from a leak years ago. Removed bucket**

Gas Piping

- **Monitor, Repair:** Copper tubing is no longer suitable for gas piping by most gas utility companies. This should be confirmed or verified with the local gas company and if confirmed it's recommended this pipe to the clothes dryer and BBQ grill be replaced with one of suitable material.

Plumbing Fixtures

- **Monitor, Repair:** The master bedroom shower head needs improvement.
- **Repair:** The hose bib in the basement by the main water shut off continues to drip when turned off and needs repair. **Repaired and bucket removed**

Wall / Ceiling Finishes

- **Monitor:** Water staining was noted on the garage ceiling and appears to be very old.
- **Monitor:** Typical drywall and/or plaster flaws were observed that could include loose tape, minor cracks, rough seams, peeling paper, nail popping, minor patching, loose or bulging plaster, etc. Any repairs would be discretionary.

Floors

- **Monitor, Repair:** Seams in the garage entry vinyl flooring are curling. Improvement is discretionary.
- **Monitor:** The carpet shows typical wear.

Kitchen Cabinets

- **Monitor:** Some hinges on cabinet doors are slightly loose. Repair is discretionary.

Basement Leakage

- **Monitor:** No evidence of moisture penetration was visible in the basement at the time of the inspection. ***It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future.*** The vast majority of basement leakage problems are the result of insufficient control of storm water at the surface. The ground around the house should be sloped to encourage water to flow away from the foundation. Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation or into a functional storm sewer. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation are the most common source of basement leakage. Please refer to the Roofing and Exterior sections of the report for more information.

In the event that basement leakage problems are experienced, lot and roof drainage improvements should be undertaken as a first step. Please beware of contractors who recommend expensive solutions. Excavation, damp-proofing and/or the installation of drainage tiles should be a last resort. In some cases, however, it is necessary. Your plans for using the basement may also influence the approach taken to curing any dampness that is experienced. If another rain occurs before closing, it's recommended the basement be viewed again for any signs of moisture penetration.

Kitchen hood

- **Monitor, Repair:** The hood exhaust fan should discharge to the building's exterior and not the attic. Repair is discretionary.

Fireplaces

- **Repair, Safety Issue:** The rear wall of the fireplace firebox should be repaired for improved safety. See also the chimney notes in the roofing section. **Repaired**

THE SCOPE OF THE INSPECTION

All components designated for inspection in the ASHI® Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report.

It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind.

This inspection is visual only. A representative sample of building components are viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of building components is performed.

Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

WEATHER CONDITIONS

Dry weather conditions prevailed at the time of the inspection.

The estimated outside temperature was 85 degrees F.

RECENT WEATHER CONDITIONS

Occasional rain has been experienced in the days leading up to the inspection.

Structure

DESCRIPTION OF STRUCTURE

Foundation:	•Poured Concrete •Basement Configuration
Columns:	•Steel
Floor Structure:	•Wood Joist
Wall Structure:	•Wood Frame
Ceiling Structure:	•Joist •Rafters
Roof Structure:	•Rafters •Spaced Plank Sheathing

STRUCTURE OBSERVATIONS

Positive Attributes

The construction of the home is high quality. The materials and workmanship, where visible, are above average. The visible joist spans appear to be within typical construction practices. The inspection did not discover evidence of substantial structural movement.

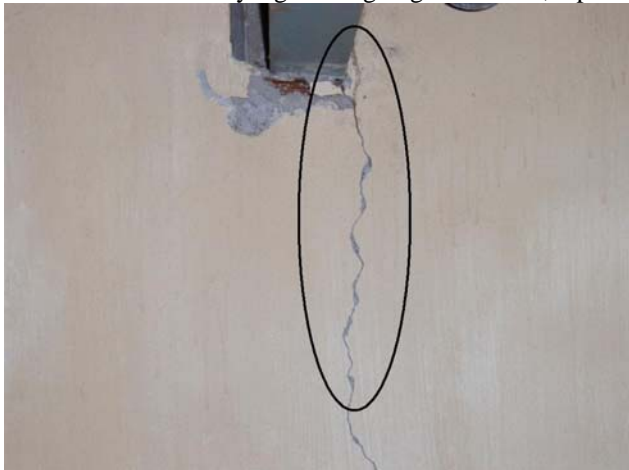
General Comments

No repair to structural components is necessary at this time.

RECOMMENDATIONS / OBSERVATIONS

Foundation

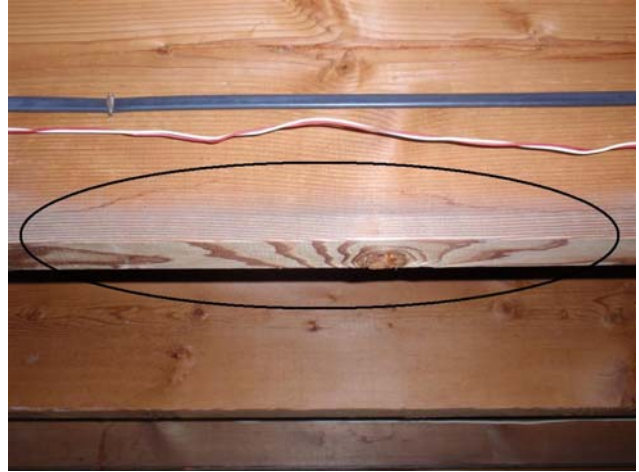
- **Monitor:** Common minor settlement cracks were observed in the foundation walls. This implies that some structural movement of the building has occurred. Cracks of this type should be watched for any sign of additional movement. In the absence of any sign of ongoing movement, repair should not be necessary.



- **Monitor:** The basement floor slab has typical cracks usually the result of shrinkage and/or settling of the slab as it cures. Shrinkage cracks are very common and are not normally a concern.

Floors

- **Monitor:** Minor amount of construction mold was visible on some floor joists. This is mold that grows on the lumber while lying in the weather during construction. Most homes have some level of this mold and it goes dormant once removed from the elements and normally does not present any problems.



Roof

- **Note:** While investigating the roof structure in the attic, outside light was visible in a couple of places. This is probably from some curling of the shingles. See notes in the roofing section.

Wood Boring Insects

- **Monitor, Repair:** Evidence of termite activity was observed in the garage and there is risk of additional hidden damage. If the property has not already been treated, a licensed pest control specialist should be engaged. Termites can do a substantial amount of damage to the wood structural components of a home. See termite report by third party for additional information and recommendations if any. Seller indicates it is scheduled to be treated in the near future.

Inspected and hole hose treated



LIMITATIONS OF STRUCTURE INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Structural components concealed behind finished surfaces could not be inspected.
- Only a representative sampling of visible structural components were inspected.
- Furniture and/or storage restricted access to some structural components.
- Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Roofing

DESCRIPTION OF ROOFING

Roof Covering:	•Wood Shingle
Roof Flashings:	•Metal
Chimneys:	•Masonry
Roof Drainage System:	•Aluminum •Downspouts discharge above grade
Skylights:	•None
Method of Inspection:	•Walked on roof

ROOFING OBSERVATIONS

Positive Attributes

The roof coverings are to be in generally good condition. The installation of the roofing materials has been performed in a professional manner. The quality of the installation is above average. Better than average quality materials have been employed as roof coverings. Roof flashing details appear to be in good order. The chimneys do not show signs of significant deterioration. The gutters are clean.

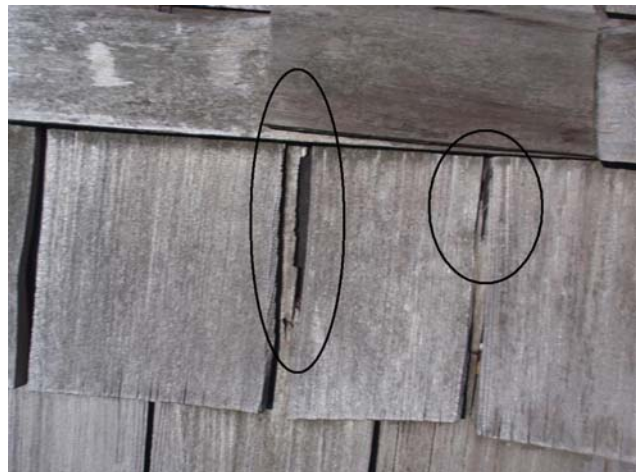
General Comments

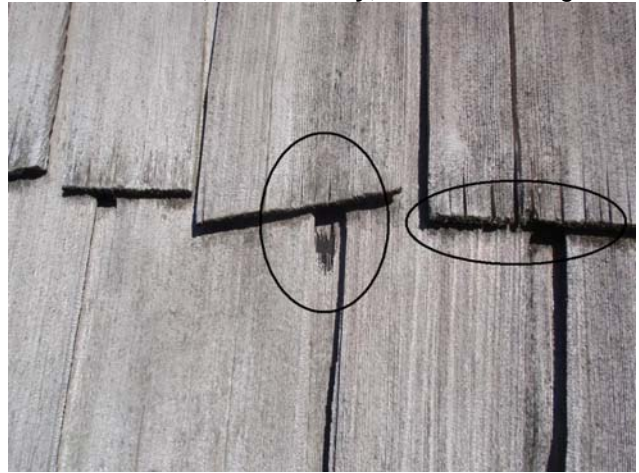
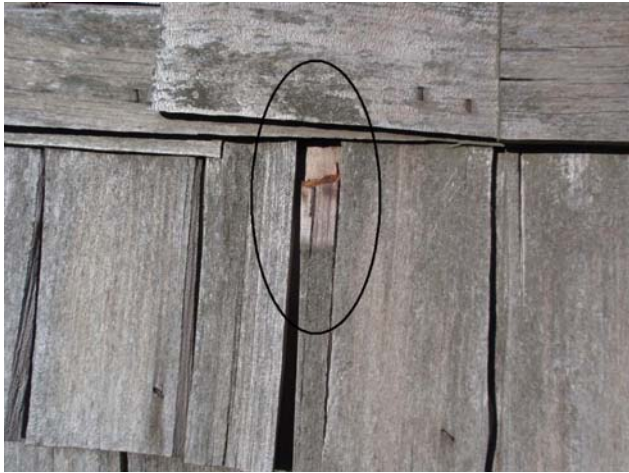
In all, the roof coverings show evidence of normal wear and tear for a home of this age.

RECOMMENDATIONS / OBSERVATIONS

Sloped Roofing

- **Repair:** The life expectancy of wood roofs is generally 15 to 20 years with some spot repairs or tune ups needed around the 10th year. This will depend on several factors such as the quality of shingle or shake, the slope of the roof (steeper is better), the amount of exposed shingle, and the amount of sun or shade. As with all roofs, annual maintenance is needed. Cracked, curled, or displaced shingles or shakes should be repaired. As a rule of thumb, replacement of the entire roof covering may be logical if more than ten percent of the wood roof requires repair. Some minor curling, a few places of exposed black felt sheathing, loose shingles and minor deterioration of the shingle ends was observed. It's recommended that a roofing contractor be consulted for a second opinion and to get an estimate of any repairs needed. A minor tune up is most likely needed.





Chimneys

- **Repair:** The masonry chimney needs re-pointing (replacing the mortar between the bricks) to avoid water damage on the top of the smoke chamber. **Repaired**



- **Repair:** The cap of the masonry chimney is cracked and deteriorating. This should be repaired to prevent further damage from freezing water. **Repaired**



- **Repair, Safety Issue:** There are gaps in the flue liner. The flue needs to be repaired and the entire flue inspected for safety. **Repaired**



Discretionary Improvements

Covering the gutters with a protective mesh may help to avoid congestion with leaves and debris.

LIMITATIONS OF ROOFING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Not all of the underside of the roof sheathing is inspected for evidence of leaks.
- Evidence of prior leaks may be disguised by interior finishes.
- Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, and other factors.
- Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.
- Roof inspection may be limited by access, condition, weather, or other safety concerns.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Exterior

DESCRIPTION OF EXTERIOR

Wall Covering:	•Brick •Wood Shingle
Eaves, Soffits, And Fascias:	•Wood
Exterior Doors:	•Solid Wood
Window/Door Frames and Trim:	•Wood
Entry Driveways:	•Concrete
Entry Walkways And Patios:	•Concrete
Porches, Decks, Steps, Railings:	•Concrete
Overhead Garage Door(s):	•Wood •Automatic Opener Installed
Surface Drainage:	•Level Grade •Graded Away From House
Retaining Walls:	•None
Fencing:	•None

EXTERIOR OBSERVATIONS

Positive Attributes

The exterior siding that has been installed on the house is relatively low maintenance. The wood window frames are in generally good condition. There is no significant wood/soil contact around the perimeter of the house, thereby reducing the risk of insect infestation or rot. The auto reverse mechanism on the overhead garage door responded properly to testing. This safety feature should be tested regularly as a door that doesn't reverse can injure someone or fall from the ceiling. Refer to the owner's manual or contact the manufacturer for more information. The driveway and walkways are in good condition. The garage completely finished. Freeze resistant hose bibs (exterior faucets) have been installed.

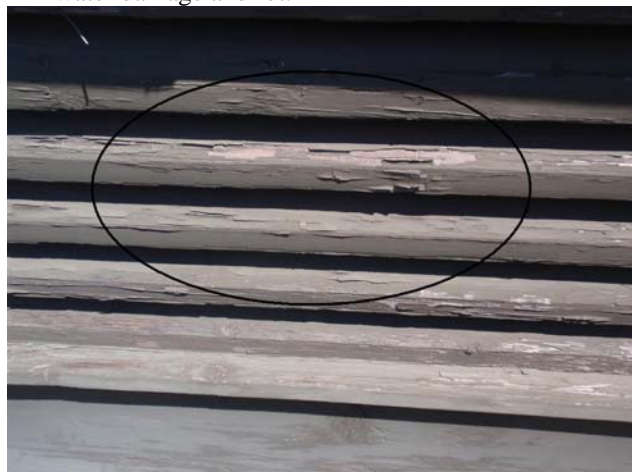
General Comments

The exterior of the home is generally in good condition. The exterior of the home shows normal wear and tear for a home of this age.

RECOMMENDATIONS / OBSERVATIONS

Exterior Walls

- **Repair:** The paint on the trim of the large roof vent over the garage is peeling. These areas should be painted to prevent water damage and rot.



Windows

- **Repair:** Some windows require minor caulking.



Garage

- **Monitor, Repair:** The overhead garage door shows evidence of repaired minor water damage and the hinge bolts are beginning to pull through the door panels and some paint is peeling. These areas should be monitored closely. Maintain with a good coat of paint and keeping any cracks or open areas closed up. **Repaired**



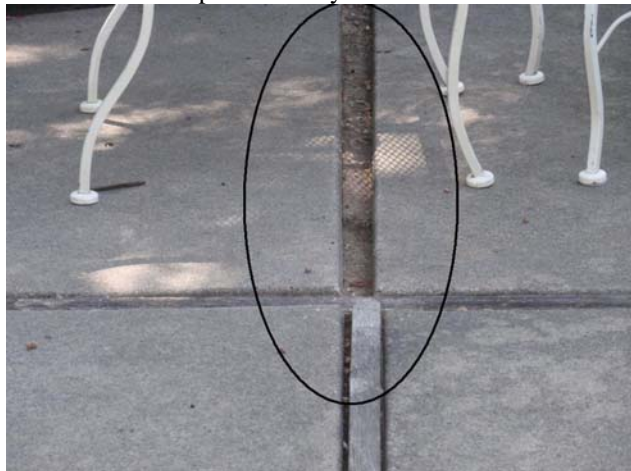
- **Monitor:** The garage floor slab has typical cracks usually the result of shrinkage and/or settling of the slab as it cures. Shrinkage cracks are very common and are not normally a concern.

Lot Drainage

- **Monitor:** The grading should be improved and/or maintained to promote the flow of storm water away from the house. This can often be accomplished by the addition of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first five feet. At least eight (8) inches of clearance should be maintained between soil level and the bottom of exterior wall siding. ***It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future.***

Patio

- **Repair, Safety Issue:** The patio has missing and loose spacer boards creating a trip hazard. This condition should be altered for improved safety.



Driveway

- **Monitor:** The driveway has settled and cracked. Persisting movement may result in the need for repairs.

Walkway

- **Repair, Safety Issue:** The walkway presents a trip hazard. This condition should be altered for improved safety.

Landscaping

- **Monitor:** Shrubs, bushes and/or vines growing on exterior walls should be kept trimmed away from the structure to reduce the risk of water damage and insect infestation. **Repaired**

LIMITATIONS OF EXTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- A representative sample of exterior components was inspected rather than every occurrence of components.
- The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.
- Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.
- Automobile(s) in the garage restricted the inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Electrical

DESCRIPTION OF ELECTRICAL

Size of Electrical Service:	•120/240 Volt Main Service - Service Size: 150 Amps
Service Drop:	•Overhead
Service Entrance Conductors:	•Aluminum
Service Equipment & Main Disconnects:	•Main Service Rating 100 Amps •Breakers •Located: Basement
Service Grounding:	•Copper •Ground Rod Connection
Service Panel & Overcurrent Protection:	•Panel Rating: 100 Amp •Breakers •Located: Basement
Distribution Wiring:	•Copper
Wiring Method:	• Non-Metallic Cable "Romex"
Switches & Receptacles:	•Grounded
Ground Fault Circuit Interrupters:	•Basement
Smoke Detectors:	•Present

ELECTRICAL OBSERVATIONS

Positive Attributes

The size of the electrical service is sufficient for typical single family needs. The electrical panel is well arranged and all fuses/breakers are properly sized relative to the wiring. Generally speaking, the electrical system is in good order. All outlets and light fixtures that were tested operated satisfactorily. The distribution of electricity within the home is good. All 3-prong outlets that were tested were appropriately grounded. Dedicated 220 volt circuits have been provided for all 220 volt appliances within the home. All visible wiring within the home is copper. This is a good quality electrical conductor.

General Comments

Inspection of the electrical system revealed the need for typical, minor repairs. Although these are not costly to repair, they should be high priority for safety reasons. *Unsafe electrical conditions represent a shock hazard.* A licensed electrician should be consulted to undertake the repairs recommended below.

RECOMMENDATIONS / OBSERVATIONS

Outlets

- **Repair:** An outlet by the basement workbench has reversed polarity (i.e. it is wired backwards). This outlet and the circuit should be investigated and repaired as necessary.



- **Repair:** Ungrounded 3-prong outlet on the rear of the house over the patio should be repaired. In some cases a ground wire may be present in the electrical box and simply needs to be connected.

LIMITATIONS OF ELECTRICAL INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Electrical components concealed behind finished surfaces are not inspected.
- Only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage restricted access to some electrical components which may not be inspected.
- The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, and other components which are not part of the primary electrical power distribution system.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Heating

DESCRIPTION OF HEATING

Energy Source:	•Gas
Heating System Type:	•Forced Air Furnace •Manufacturer: Lennox •Serial Number: 5802H37351
Vents, Flues, Chimneys:	•Metal-Single Wall
Heat Distribution Methods:	•Ductwork

HEATING OBSERVATIONS

Positive Attributes

The heating system is in generally good condition. Adequate heating capacity is provided by the system. Heat distribution within the home is adequate. The heating system is controlled by a “set back” thermostat. This type of thermostat, if set up correctly, helps reduce heating costs.

General Comments

The heating system shows no visible evidence of major defects. No repairs to the heating system are necessary at this time.

RECOMMENDATIONS / OBSERVATIONS

LIMITATIONS OF HEATING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- The adequacy of heat supply or distribution balance is not inspected.
- The interior of flues or chimneys which are not readily accessible are not inspected.
- The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected.
- Solar space heating equipment/systems are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Cooling / Heat Pumps

DESCRIPTION OF COOLING / HEAT PUMPS

Energy Source:	•Electricity
Central System Type:	•Air Cooled Central Air Conditioning •Manufacturer: Lennox •Serial Number: 5802G77778
Size of Circuit:	•Circuit Size: Minimum Circuit Size 21.2 Amps/Maximum Circuit Breaker Size 35 Amps •Breaker Size In Main Panel: 40 Amps
Through-Wall Equipment:	•Not Present

COOLING / HEAT PUMPS OBSERVATIONS

Positive Attributes

The capacity and configuration of the system should be sufficient for the home. This is a relatively new system that should have many years of useful life remaining. Regular maintenance will, of course, be necessary. The location of the return air vents is well suited to air conditioning. The system responded properly to operating controls.

General Comments

The system shows no visible evidence of major defects. No repairs are necessary at this time.

RECOMMENDATIONS / OBSERVATIONS

Air Conditioner

- **Monitor, Repair:** The temperature drop does not appear to be sufficient. It's recommended a qualified HVAC technician evaluate the unit and make any repairs necessary. **Repaired, added coolant**

LIMITATIONS OF COOLING / HEAT PUMPS INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Window mounted air conditioning units are not inspected.
- The cooling supply adequacy or distribution balance are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Insulation / Ventilation

DESCRIPTION OF INSULATION / VENTILATION

Attic Insulation:	•Loose & Rolled Fiberglass/Mineral Wool in Main Attic
Exterior Wall Insulation:	•Not Visible
Basement Wall Insulation:	•None Visible
Vapor Retarders:	•Unknown
Roof Ventilation:	•Roof Vents •Soffit Vents
Exhaust Fan/vent Locations:	•Kitchen •Dryer

INSULATION / VENTILATION OBSERVATIONS

Positive Attributes

Insulation levels are typical for a home of this age and construction.

General Comments

Upgrading insulation levels in a home is an improvement rather than a necessary repair.

RECOMMENDATIONS / ENERGY SAVING SUGGESTIONS

Attic / Roof

- **Monitor:** While in the attic a bucket was observed next to the kitchen plumbing vent pipe. It appears to have been there for a long time and is dry. It was probably never removed once the roof was replaced or the vent flashing repaired.



Left over from a leak years ago. Removed bucket

LIMITATIONS OF INSULATION / VENTILATION INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- An analysis of indoor air quality is not part of our inspection unless explicitly contracted-for and discussed in this or a separate report.
- Any estimates of insulation R values or depths are rough average values.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Plumbing

DESCRIPTION OF PLUMBING

Water Supply Source:	•Public Water Supply
Service Pipe to House:	•Copper
Main Water Valve Location:	•Front Wall of Basement
Interior Supply Piping:	•Copper
Waste System:	•Public Sewer System
Drain, Waste, & Vent Piping:	•Cast Iron
Water Heater:	•Gas •Approximate Capacity (in gallons): 40 •Manufacturer: Kenmore •Serial Number: 9211906006
Fuel Shut-Off Valves:	•Natural Gas Main Valve At Meter

PLUMBING OBSERVATIONS

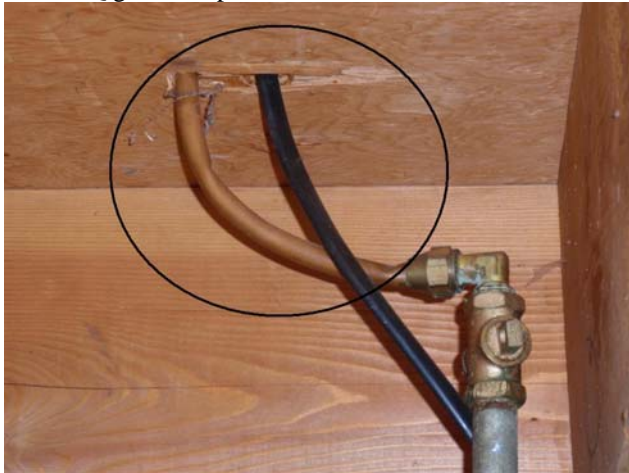
Positive Attributes

The plumbing system is in generally good condition. The piping system within the home, for both supply and waste, is a good quality system. The water pressure supplied to the fixtures is reasonably good. A typical drop in flow was experienced when two fixtures were operated simultaneously. Some of the plumbing fixtures within the home have been upgraded. The plumbing fixtures appear to have been well-maintained. The water heater is a relatively new unit. As the typical life expectancy of water heaters is 7 to 12 years, this unit should have several years of remaining life.

RECOMMENDATIONS / OBSERVATIONS

Gas Piping

- **Monitor, Repair:** Copper tubing is no longer suitable for gas piping by most gas utility companies. This should be confirmed or verified with the local gas company and if confirmed it's recommended this pipe to the clothes dryer and BBQ grill be replaced with one of suitable material.



Plumbing Fixtures

- **Monitor, Repair:** The master bedroom shower head needs improvement.
- **Repair:** The hose bib in the basement by the main water shut off continues to drip when turned off and needs repair.

Repaired and bucket removed



LIMITATIONS OF PLUMBING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.
- Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.
- Clothes washing machine connections are not inspected.
- Interiors of flues or chimneys which are not readily accessible are not inspected.
- Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Interior

DESCRIPTION OF INTERIOR

Wall And Ceiling Materials:	•Drywall
Floor Surfaces:	•Carpet •Tile •Vinyl/Resilient
Window Type(s) & Glazing:	•Casement •Double/Single Hung •Fixed Pane •Single Pane with Storm Window
Doors:	•Wood-Hollow Core •Storm Door(s)

INTERIOR OBSERVATIONS

General Condition of Interior Finishes

On the whole, the interior finishes of the home are in above average condition. Typical minor flaws were observed in some areas.

General Condition of Windows and Doors

The majority of the doors and windows are average quality. The windows have, for the most part, been well-maintained.

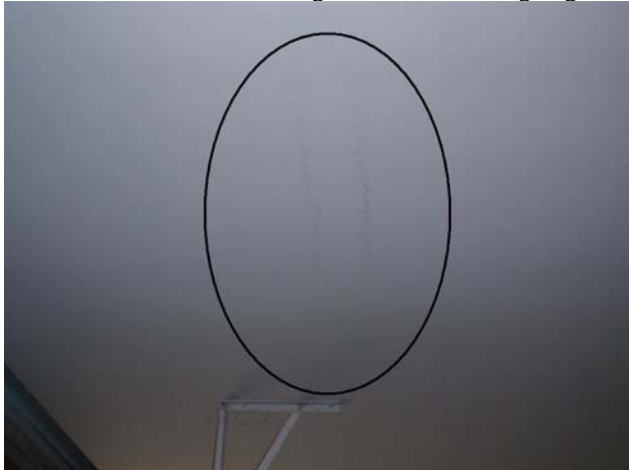
General Condition of Floors

The floors of the home are relatively level and walls are relatively plumb.

RECOMMENDATIONS / OBSERVATIONS

Wall / Ceiling Finishes

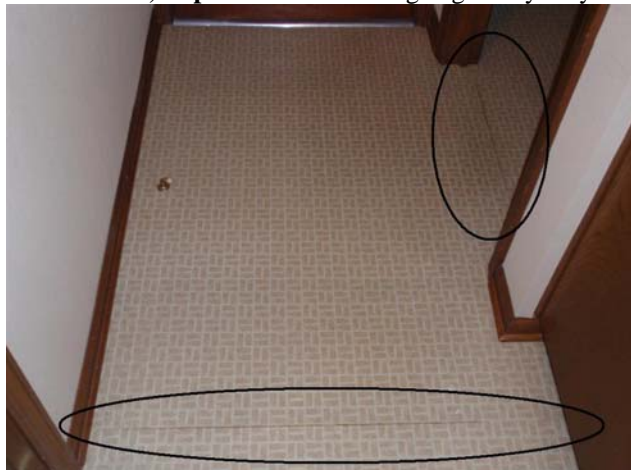
- **Monitor:** Water staining was noted on the garage ceiling and appears to be very old.



- **Monitor:** Typical drywall and/or plaster flaws were observed that could include loose tape, minor cracks, rough seams, peeling paper, nail popping, minor patching, loose or bulging plaster, etc. Any repairs would be discretionary.

Floors

- **Monitor, Repair:** Seams in the garage entry vinyl flooring are curling. Improvement is discretionary.



- **Monitor:** The carpet shows typical wear.

Kitchen Cabinets

- **Monitor:** Some hinges on cabinet doors are slightly loose. Repair is discretionary.

Basement Leakage

- **Monitor:** No evidence of moisture penetration was visible in the basement at the time of the inspection. *It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future.* The vast majority of basement leakage problems are the result of insufficient control of storm water at the surface. The ground around the house should be sloped to encourage water to flow away from the foundation. Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation or into a functional storm sewer. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation are the most common source of basement leakage. Please refer to the Roofing and Exterior sections of the report for more information.

In the event that basement leakage problems are experienced, lot and roof drainage improvements should be undertaken as a first step. Please beware of contractors who recommend expensive solutions. Excavation, damp-proofing and/or the installation of drainage tiles should be a last resort. In some cases, however, it is necessary. Your plans for using the basement may also influence the approach taken to curing any dampness that is experienced. If another rain occurs before closing, it's recommended the basement be viewed again for any signs of moisture penetration.

LIMITATIONS OF INTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects.
- Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.
- The adequacy of the fireplace draw cannot be determined during a visual inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Appliances

DESCRIPTION OF APPLIANCES

Appliances Tested:

- Electric Range •Microwave Oven •Dishwasher •Waste Disposer
- Refrigerator

Laundry Facility:

- Gas Piping for Dryer •Dryer Vented to Building Exterior •Hot and Cold Water Supply for Washer •Waste Standpipe for Washer

Other Components Tested:

- Door Bell

APPLIANCES OBSERVATIONS

Positive Attributes

The appliances are to be in generally good condition. All appliances that were tested responded satisfactorily. The kitchen and laundry facilities are well organized. The kitchen cabinetry is above average quality.

RECOMMENDATIONS / OBSERVATIONS

Kitchen hood

- **Monitor, Repair:** The hood exhaust fan should discharge to the building's exterior and not the attic. Repair is discretionary.



LIMITATIONS OF APPLIANCES INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Thermostats, timers and other specialized features and controls are not tested.
- The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Fireplaces / Wood Stoves

DESCRIPTION OF FIREPLACES / WOOD STOVES

- Fireplaces:** •Masonry Firebox •Gas
Vents, Flues, Chimneys: •Masonry Chimney-Lined

FIREPLACES / WOOD STOVES OBSERVATIONS

General Comments

On the whole, the fireplace and it's components were found to be in average condition. Typical flaws were observed in some areas.

RECOMMENDATIONS / OBSERVATIONS

Fireplaces

- **Repair, Safety Issue:** The rear wall of the fireplace firebox should be repaired for improved safety. See also the chimney notes in the roofing section. **Repaired**



LIMITATIONS OF FIREPLACES / WOOD STOVES INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- The interiors of flues or chimneys are not inspected.
- Firescreens, fireplace doors, appliance gaskets and seals, automatic fuel feed devices, mantles and fireplace surrounds, combustion make-up air devices, and heat distribution assists (gravity or fan-assisted) are not inspected.
- The inspection does not involve igniting or extinguishing fires nor the determination of draft.
- Fireplace inserts, stoves, or firebox contents are not moved.
- The adequacy of the fireplace draw is not determined during a visual inspection; for safety reasons, if no fire is burning we do not ignite fires nor light paper or other materials.

Other Fireplace/Stove Components Not Inspected:

- Interiors of flues or chimneys

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.