



**Star
Home
Inspection Services**

Home Inspection Report

500 Mill Ct Belton, MO 64012

Inspection Date: 09/22/2011

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Report Overview

THE HOUSE IN PERSPECTIVE

This is a well built home that has been lacking maintenance somewhat. Apart from the short term need to deal with this lacking maintenance, *the improvements that are recommended in this report are not considered unusual for a home of this age and location.* Please remember that there is no such thing as a perfect home.

CONVENTIONS USED IN THIS REPORT

For your convenience, the following conventions have been used in this report.

Major Concern: a system or component which is considered significantly deficient or is unsafe. Significant deficiencies need to be corrected and, except for some safety items, are likely to involve significant expense.

Safety Issue: denotes a condition that is unsafe and in need of prompt attention.

Repair: denotes a system or component which is missing or which needs corrective action to assure proper and reliable function.

Improve: denotes improvements which are recommended but not required.

Monitor: denotes a system or component needing further investigation and/or monitoring in order to determine if repairs are necessary.

Please note that those observations listed under “Discretionary Improvements” are not essential repairs, but represent logical long term improvements.

- For the purpose of this report, it is assumed that the house faces south.

IMPROVEMENT RECOMMENDATION HIGHLIGHTS / SUMMARY

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations.

All issues found in this report should be addressed with the appropriate parties to make any improvements, corrections or repairs necessary. All improvements, corrections and repairs should meet the satisfaction of the client named on this report and the inspection agreement associated with this report prior to closing. This report and the findings listed herein are intended for the client only and is not transferable without a signed written agreement.

Comments made in red by each item are those made by the seller. Any items without seller comments should be considered “AS IS”.

Roof

- **Monitor:** The roof structure shows evidence that there has been fire damage in the past. The information provided by the seller indicated the fire originated on the deck wall by a BBQ grill. Structural components concealed from view could be more (or less) seriously damaged. The history of this fire and the extent to which it involved the building should be obtained and/or provided.

Sloped Roofing

- **Repair:** The back half of the roof was replaced when the fire damage was repaired. Missing tabs on the front half of the roof were observed and some minor damage from the tree was also visible on the front ridge cap. Repairs are needed to prevent leakage.
- **Monitor, Repair:** What appears to be hail damage was observed on the front and east roof and roof vents. Hail damage can shorten the life of a roof. This should be investigated further and may eligible for an insurance claim.

- **Monitor:** A high spot on the rear roof was observed. Further investigation in the attic revealed that the sheathing was slightly uneven and should not cause any problems. However, this area should be monitored.

Flashings

- **Monitor, Repair:** The kitchen plumbing vent flashing boot is split making it vulnerable to leaks. It's recommended that the boot be caulked or the flashing replaced.

Gutters & Downspouts

- **Repair:** Loose gutter nails should be repaired.
- **Repair:** The downspout(s) should discharge water at least five (5) feet from the house. Storm water should be encouraged to flow away from the building at the point of discharge. Some splash pans and/or downspout extensions are missing.

Exterior In General

- **Note:** Not all areas needing attention have been itemized. The information and pictures in this section is only a representation of repairs needed. It's recommended that a thorough "inventory" be taken by a competent siding, window and door repair technician to ascertain exactly how many areas will need to be repaired or replaced. Further evaluation by a specialist may well identify additional areas that require servicing.

Exterior Walls

- **Repair:** Siding of this type requires considerable monitoring and maintenance. It has a tendency to pop out past nail heads creating a space where two panels join together. Re-securing and caulking the seams and nail holes is standard maintenance for this type of siding. The installed bat boards over the seams is an excellent way to prevent the seams from opening. During the inspection some nails driven deep into the siding and the lack of paint on the bottom edge of the siding was observed. The nails holes should be caulked and the bottom edge painted to prevent water damage and rot.
- **Repair:** The paint on the trim around the siding is peeling in localized areas and some bat boards need caulking. Minor localized repairs and painting is needed

Windows

- **Repair:** The window frames require painting and caulking.

Doors

- **Repair:** The paint on the east exterior door frame/ trim is peeling and requires painting and caulking.

Garage

- **Repair:** The paint on the garage door frame/ trim is peeling and requires painting and caulking.
- **Monitor:** The garage floor slab has typical cracks usually the result of shrinkage and/or settling of the slab as it cures. Shrinkage cracks are very common and are not normally a concern.

Lot Drainage

- **Recommend:** The grading should be improved to promote the flow of storm water away from the house. This can often be accomplished by the addition of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first five feet. At least eight (8) inches of clearance should be maintained between soil level and the bottom of exterior wall siding. *It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future.*

Porch

- **Repair:** The porch railing paint is peeling and there is evidence of rot. It is recommended that this be repaired. Further deterioration could compromise safety.
- **Repair, Safety Issue:** The porch step railing is rotted and loose. It is recommended that this be repaired for improved safety.

Deck

- **Recommend:** The deck should be painted or stained to improve durability.
- **Monitor:** The deck steps have settled and some support posts for the deck steps are not well supported. This should be repaired to prevent further movement.

Patio

- **Monitor, Repair:** There is an absence of soil underneath the patio due to settlement and/or erosion. It's recommended the cavity be filled to help prevent further settlement.

Driveway

- **Monitor:** The soil below the driveway has settled and/or heaved resulting in cracks and an uneven surface. Persisting movement may result in the need for resurfacing.

Landscaping

- **Repair:** Tree branches should be trimmed away from the house to avoid damage to the building.
- **Repair:** Shrubs, bushes and/or vines growing on exterior walls need to be trimmed away from the structure to reduce the risk of water damage and insect infestation.

Fencing

- **Repair:** While the fencing sections are in reasonably good condition, some support posts are in poor condition. Replacement of the deteriorated posts is recommended.
- **Repair:** The gate and/or latch mechanisms on both gates need adjustment to function properly.

Distribution Wiring

- **Repair:** Improper electrical connections in the crawl space should be repaired. All electrical connections should be made inside junction boxes fitted with cover plates.

Outlets

- **Repair:** An outlet in the storage room under the deck is damaged. It should be replaced.
- **Repair:** An exterior outlet on the front of the house has reversed polarity (i.e. it is wired backwards). This outlet and the circuit should be investigated and repaired as necessary.

Lights

- **Repair:** The loose light fixture in the garage should be repaired or replaced.
- **Repair:** The florescent light in the basement bathroom is inoperative. If the bulbs are not blown, the circuit should be repaired.

Furnace

- **Monitor:** As is not uncommon for homes of this age and location, the heating system is old. It may require a slightly higher level of maintenance, and may be more prone to major component breakdown. Predicting the frequency or time frame for repairs on any mechanical device is virtually impossible. The unit was tested for carbon monoxide spillage and gas leaks using a TIF 8800 gas and carbon monoxide sniffer and no positive readings were observed.

Central Air Conditioning

- **Improve:** The outdoor unit of the air conditioning system requires cleaning.

Water Heater

- **Monitor:** Water heaters have a typical life expectancy of 7 to 12 years. The existing unit is approaching or has exceeded this age range. One cannot predict with certainty when replacement will become necessary.
- **Repair:** The discharge piping serving the Temperature and Pressure Relief (TPR) Valve for the water heater should terminate not less than 6 inches or more than 24 inches above the floor.

Waste / Vent

- **Repair:** The basement bathroom sink drain pipe is leaking.

Plumbing Fixtures

- **Repair:** The sink drain plug is missing and needs repair in the hallway and master bedroom bathrooms.
- **Improve:** Cracked, deteriorated and/or missing shower stall grout and caulk should be improved.(very minor)
- **Monitor, Repair:** Typical evidence of minor water damage to the trim adjacent to the bathtub was observed. Repair is discretionary.
- **Monitor, Repair:** Both hose bibs are leaky when the water is running. Repair is discretionary.

Wall / Ceiling Finishes

- **Monitor, Repair:** Water staining and damage was noted on the garage ceiling.
- **Monitor, Repair:** Damage to the garage drywall was observed.
- **Monitor:** Other typical drywall and/or plaster flaws were observed that could include loose tape, minor cracks, rough seams, peeling paper, nail popping, minor patching, loose or bulging plaster, etc. Any repairs would be discretionary.

Floors

- **Monitor, Repair:** The carpet flooring in the basement bedroom doorway has minor damage
- **Monitor, Repair:** The carpet shows typical wear and/or soiled spots and stains needs stretching in some areas.

Doors

- **Repair:** Door to the hallway bathroom should be adjusted as necessary to latch properly.
- **Repair:** The front door should be trimmed or adjusted as necessary to not catch on the frame in the upper corner.

Kitchen Cabinets

- **Repair:** Damaged kitchen drawer guide on the right side of the oven should be repaired.

Basement Leakage

- **Monitor:** No evidence of moisture penetration was visible in the basement at the time of the inspection. *It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future.* The vast majority of basement leakage problems are the result of insufficient control of storm water at the surface. The ground around the house should be sloped to encourage water to flow away from the foundation. Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation or into a functional storm sewer. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation are the most common source of basement leakage. Please refer to the Roofing and Exterior sections of the report for more information.

In the event that basement leakage problems are experienced, lot and roof drainage improvements should be undertaken as a first step. Please beware of contractors who recommend expensive solutions. Excavation, damp-proofing and/or the installation of drainage tiles should be a last resort. In some cases, however, it is necessary. Your plans for using the basement may also influence the approach taken to curing any dampness that is experienced. If another rain occurs before closing, it's recommended the basement be viewed again for any signs of moisture penetration.

Door Bell

- **Monitor, Repair:** The door bell button is damaged but functional.

Fireplaces

- **Monitor:** Although this fireplace is rated for burning wood, the rear wall does not stand up to the heat from burning wood. Some deterioration of the rear wall was observed. This should be monitored closely.

THE SCOPE OF THE INSPECTION

All components designated for inspection in the ASHI® Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report.

It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind.

This inspection is visual only. A representative sample of building components are viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of building components is performed.

Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

WEATHER CONDITIONS

Dry weather conditions prevailed at the time of the inspection.
The estimated outside temperature was 70 degrees F.

RECENT WEATHER CONDITIONS

Weather conditions leading up to the inspection have been relatively dry.

Structure

DESCRIPTION OF STRUCTURE

Foundation:	•Poured Concrete •Basement Configuration
Columns:	•Steel
Floor Structure:	•Wood Joist
Wall Structure:	•Wood Frame
Ceiling Structure:	•Joist
Roof Structure:	•Rafters •Waferboard Sheathing

STRUCTURE OBSERVATIONS

Positive Attributes

The construction of the home is good quality. The materials and workmanship, where visible, are good. The visible joist spans appear to be within typical construction practices. The inspection did not discover evidence of substantial structural movement.

General Comments

No major defects were observed in the accessible structural components of the house. No repair to structural components is necessary at this time.

RECOMMENDATIONS / OBSERVATIONS

Roof

- **Monitor:** The roof structure shows evidence that there has been fire damage in the past. The information provided by the seller indicated the fire originated on the deck wall by a BBQ grill. Structural components concealed from view could be more (or less) seriously damaged. The history of this fire and the extent to which it involved the building should be obtained and/or provided.

LIMITATIONS OF STRUCTURE INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Structural components concealed behind finished surfaces could not be inspected.
- Only a representative sampling of visible structural components were inspected.
- Furniture and/or storage restricted access to some structural components.
- Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Roofing

DESCRIPTION OF ROOFING

Roof Covering:	•Asphalt Shingle •Number of layers Unknown
Roof Flashings:	•Metal
Chimneys:	•Metal below siding
Roof Drainage System:	•Aluminum •Downspouts discharge above grade
Skylights:	•None
Method of Inspection:	•Walked on roof

ROOFING OBSERVATIONS

Positive Attributes

The steep pitch of the roof should result in a longer than normal life expectancy for roof coverings.

General Comments

In all, the roof coverings show evidence of normal wear and tear for a home of this age. The roof coverings are old and are at or near end of useful life.

RECOMMENDATIONS / OBSERVATIONS

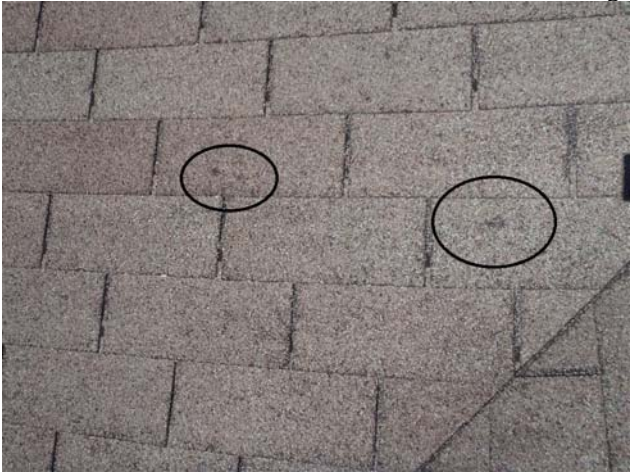
Sloped Roofing

- **Repair:** The back half of the roof was replaced when the fire damage was repaired. Missing tabs on the front half of the roof were observed and some minor damage from the tree was also visible on the front ridge cap. Repairs are needed to prevent leakage.





- **Monitor, Repair:** What appears to be hail damage was observed on the front and east roof and roof vents. Hail damage can shorten the life of a roof. This should be investigated further and may eligible for an insurance claim.



- **Monitor:** A high spot on the rear roof was observed. Further investigation in the attic revealed that the sheathing was slightly uneven and should not cause any problems. However, this area should be monitored.



Flashings

- **Monitor, Repair:** The kitchen plumbing vent flashing boot is split making it vulnerable to leaks. It's recommended that the boot be caulked or the flashing replaced.



Gutters & Downspouts

- **Repair:** Loose gutter nails should be repaired.



- **Repair:** The downspout(s) should discharge water at least five (5) feet from the house. Storm water should be encouraged to flow away from the building at the point of discharge. Some splash pans and/or downspout extensions are missing.



Discretionary Improvements

Covering the gutters with a protective mesh may help to avoid congestion with leaves and debris.

As a preventative measure, it may be wise to redirect all downspouts so they discharge at least five (5) feet from the house.

LIMITATIONS OF ROOFING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Not all of the underside of the roof sheathing is inspected for evidence of leaks.
- Evidence of prior leaks may be disguised by interior finishes.
- Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, and other factors.
- Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.
- Roof inspection may be limited by access, condition, weather, or other safety concerns.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Exterior

DESCRIPTION OF EXTERIOR

Wall Covering:	•Stone •Hardboard
Eaves, Soffits, And Fascias:	•Wood
Exterior Doors:	•Metal
Window/Door Frames and Trim:	•Wood
Entry Driveways:	•Concrete
Entry Walkways And Patios:	•Concrete
Porches, Decks, Steps, Railings:	•Concrete •Wood
Overhead Garage Door(s):	•Wood •Automatic Opener Installed
Surface Drainage:	•Level Grade •Graded Towards House
Retaining Walls:	•Block
Fencing:	•Wood

EXTERIOR OBSERVATIONS

Positive Attributes

There is no significant wood/soil contact around the perimeter of the house, thereby reducing the risk of insect infestation or rot. The auto reverse mechanism on the overhead garage door responded properly to testing. This safety feature should be tested regularly as a door that doesn't reverse can injure someone or fall from the ceiling. Refer to the owner's manual or contact the manufacturer for more information. The driveway and walkways are in good condition. The garage appears to be fully insulated. The garage completely finished. Freeze resistant hose bibs (exterior faucets) have been installed.

General Comments

The exterior of the home shows normal wear and tear for a home of this age. The exterior of the home has lacked some maintenance; repairs are needed.

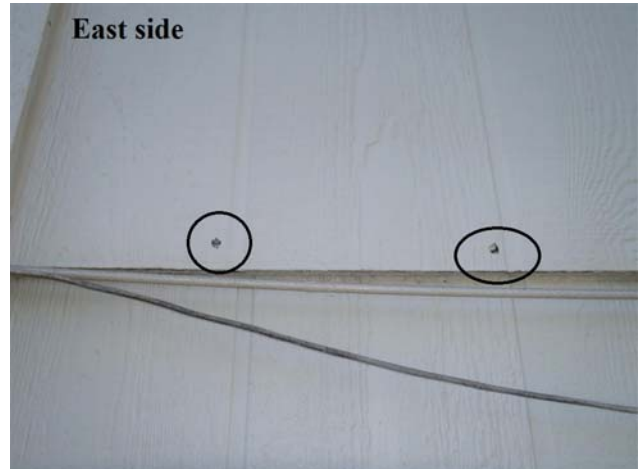
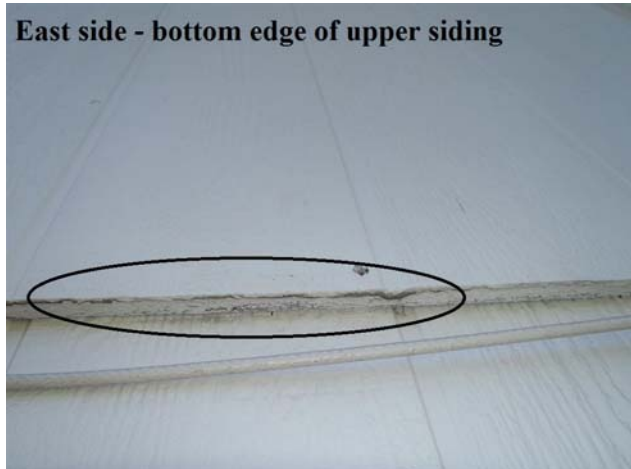
RECOMMENDATIONS / OBSERVATIONS

Exterior In General

- **Note:** Not all areas needing attention have been itemized. The information and pictures in this section is only a representation of repairs needed. It's recommended that a thorough "inventory" be taken by a competent siding, window and door repair technician to ascertain exactly how many areas will need to be repaired or replaced. Further evaluation by a specialist may well identify additional areas that require servicing.

Exterior Walls

- **Repair:** Siding of this type requires considerable monitoring and maintenance. It has a tendency to pop out past nail heads creating a space where two panels join together. Re-securing and caulking the seams and nail holes is standard maintenance for this type of siding. The installed bat boards over the seams is an excellent way to prevent the seams from opening. During the inspection some nails driven deep into the siding and the lack of paint on the bottom edge of the siding was observed. The nails holes should be caulked and the bottom edge painted to prevent water damage and rot.



- **Repair:** The paint on the trim around the siding is peeling in localized areas and some bat boards need caulking. Minor localized repairs and painting is needed



Windows

- **Repair:** The window frames require painting and caulking.



Doors

- **Repair:** The paint on the east exterior door frame/ trim is peeling and requires painting and caulking.





Garage

- **Repair:** The paint on the garage door frame/ trim is peeling and requires painting and caulking.



- **Monitor:** The garage floor slab has typical cracks usually the result of shrinkage and/or settling of the slab as it cures. Shrinkage cracks are very common and are not normally a concern.

Lot Drainage

- **Recommend:** The grading should be improved to promote the flow of storm water away from the house. This can often be accomplished by the addition of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first five feet. At least eight (8) inches of clearance should be maintained between soil level and the bottom of exterior wall siding. *It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future.*



Porch

- **Repair:** The porch railing paint is peeling and there is evidence of rot. It is recommended that this be repaired. Further deterioration could compromise safety.



- **Repair, Safety Issue:** The porch step railing is rotted and loose. It is recommended that this be repaired for improved safety.



Deck

- **Recommend:** The deck should be painted or stained to improve durability.



- **Monitor:** The deck steps have settled and some support posts for the deck steps are not well supported. This should be repaired to prevent further movement.



Patio

- **Monitor, Repair:** There is an absence of soil underneath the patio due to settlement and/or erosion. It's recommended the cavity be filled to help prevent further settlement.



Driveway

- **Monitor:** The soil below the driveway has settled and/or heaved resulting in cracks and an uneven surface. Persisting movement may result in the need for resurfacing.



Landscaping

- **Repair:** Tree branches should be trimmed away from the house to avoid damage to the building.

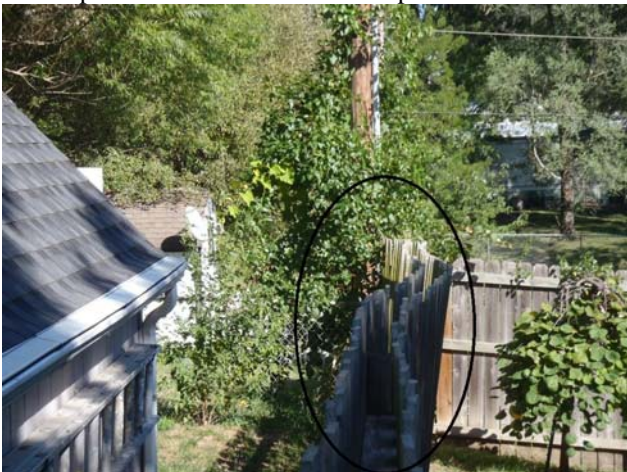


- **Repair:** Shrubs, bushes and/or vines growing on exterior walls need to be trimmed away from the structure to reduce the risk of water damage and insect infestation.



Fencing

- **Repair:** While the fencing sections are in reasonably good condition, some support posts are in poor condition. Replacement of the deteriorated posts is recommended.



- **Repair:** The gate and/or latch mechanisms on both gates need adjustment to function properly.



LIMITATIONS OF EXTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- A representative sample of exterior components was inspected rather than every occurrence of components.
- The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.
- Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.
- Landscape components restricted a view of some exterior areas of the house.
- Storage in the garage restricted the inspection.
- Automobile(s) in the garage restricted the inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Electrical

DESCRIPTION OF ELECTRICAL

Size of Electrical Service:	•120/240 Volt Main Service - Service Size: 100 Amps
Service Drop:	•Underground
Service Entrance Conductors:	•Aluminum
Service Equipment & Main Disconnects:	•Main Service Rating 100 Amps •Breakers •Located: Basement
Service Grounding:	•Copper •Water Pipe Connection
Service Panel & Overcurrent Protection:	•Panel Rating: 100 Amp •Breakers •Located: Basement
Distribution Wiring:	•Copper
Wiring Method:	• Non-Metallic Cable "Romex"
Switches & Receptacles:	•Grounded
Ground Fault Circuit Interrupters:	•Bathroom(s) •Exterior
Smoke Detectors:	•Present

ELECTRICAL OBSERVATIONS

Positive Attributes

The size of the electrical service is sufficient for typical single family needs. The electrical panel is well arranged and all fuses/breakers are properly sized relative to the wiring. Generally speaking, the electrical system is in good order. All outlets and light fixtures that were tested operated satisfactorily. The distribution of electricity within the home is good. All 3-prong outlets that were tested were appropriately grounded. Ground fault circuit interrupter (GFCI) devices have been provided in some areas of the home. Dedicated 220 volt circuits have been provided for all 220 volt appliances within the home. All visible wiring within the home is copper. This is a good quality electrical conductor.

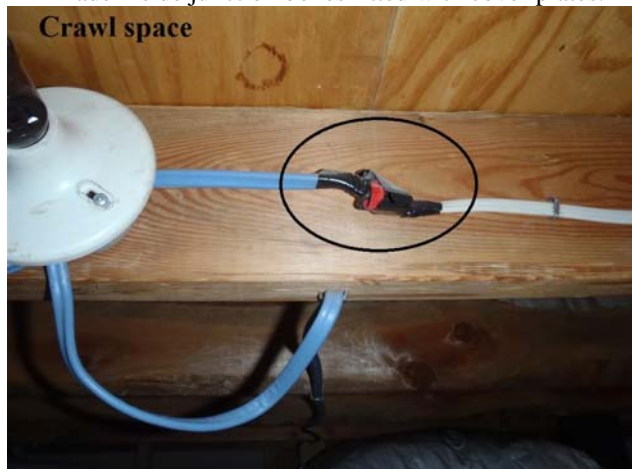
General Comments

Inspection of the electrical system revealed the need for typical, minor repairs. Although these are not costly to repair, they should be high priority for safety reasons. *Unsafe electrical conditions represent a shock hazard.* A licensed electrician should be consulted to undertake the repairs recommended below and any others that may be discovered during their inspection of the electrical system.

RECOMMENDATIONS / OBSERVATIONS

Distribution Wiring

- **Repair:** Improper electrical connections in the crawl space should be repaired. All electrical connections should be made inside junction boxes fitted with cover plates.



Outlets

- **Repair:** An outlet in the storage room under the deck is damaged. It should be replaced.



- **Repair:** An exterior outlet on the front of the house has reversed polarity (i.e. it is wired backwards). This outlet and the circuit should be investigated and repaired as necessary.

Lights

- **Repair:** The loose light fixture in the garage should be repaired or replaced.

Garage light



- **Repair:** The florescent light in the basement bathroom is inoperative. If the bulbs are not blown, the circuit should be repaired.

LIMITATIONS OF ELECTRICAL INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Electrical components concealed behind finished surfaces are not inspected.
- Only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage restricted access to some electrical components which may not be inspected.
- The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, and other components which are not part of the primary electrical power distribution system.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Heating

DESCRIPTION OF HEATING

Energy Source:	•Gas
Heating System Type:	•Forced Air Furnace •Manufacturer: Carrier •Serial Number: 4690A01775
Vents, Flues, Chimneys:	•Metal-Multi Wall
Heat Distribution Methods:	•Ductwork

HEATING OBSERVATIONS

Positive Attributes

The heating system is in generally good condition. Adequate heating capacity is provided by the system. Heat distribution within the home is adequate.

General Comments

The heating system shows no visible evidence of major defects. No repairs to the heating system are necessary at this time.

RECOMMENDATIONS / OBSERVATIONS

Furnace

- **Monitor:** As is not uncommon for homes of this age and location, the heating system is old. It may require a slightly higher level of maintenance, and may be more prone to major component breakdown. Predicting the frequency or time frame for repairs on any mechanical device is virtually impossible. The unit was tested for carbon monoxide spillage and gas leaks using a TIF 8800 gas and carbon monoxide sniffer and no positive readings were observed.

LIMITATIONS OF HEATING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- The adequacy of heat supply or distribution balance is not inspected.
- The interior of flues or chimneys which are not readily accessible are not inspected.
- The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected.
- Solar space heating equipment/systems are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Cooling / Heat Pumps

DESCRIPTION OF COOLING / HEAT PUMPS

Energy Source:	•Electricity
Central System Type:	•Air Cooled Central Air Conditioning •Manufacturer: Carrier •Serial Number: 2490E25385
Size of Circuit:	•Circuit Size: Minimum Circuit Size 19.5 Amps/Maximum Circuit Breaker Size 30 Amps •Breaker Size In Main Panel: 30 Amps
Through-Wall Equipment:	•Not Present

COOLING / HEAT PUMPS OBSERVATIONS

Positive Attributes

The capacity and configuration of the system should be sufficient for the home. The location of the return air vents is well suited to air conditioning. The system responded properly to operating controls.

General Comments

The system shows no visible evidence of major defects. No repairs are necessary at this time.

RECOMMENDATIONS / OBSERVATIONS

Central Air Conditioning

- **Improve:** The outdoor unit of the air conditioning system requires cleaning.



LIMITATIONS OF COOLING / HEAT PUMPS INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Window mounted air conditioning units are not inspected.
- The cooling supply adequacy or distribution balance are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Insulation / Ventilation

DESCRIPTION OF INSULATION / VENTILATION

Attic Insulation:	•Loose Fiberglass/Mineral Wool in Main Attic
Exterior Wall Insulation:	•Not Visible
Basement Wall Insulation:	•None Visible
Crawl Space Insulation:	•None Visible
Vapor Retarders:	•Unknown
Roof Ventilation:	•Roof Vents •Soffit Vents
Crawl Space Ventilation:	•Vents to Interior of House
Exhaust Fan/vent Locations:	•Bathroom •Dryer

INSULATION / VENTILATION OBSERVATIONS

Positive Attributes

This is a well insulated home.

General Comments

Upgrading insulation levels in a home is an improvement rather than a necessary repair.

RECOMMENDATIONS / ENERGY SAVING SUGGESTIONS

LIMITATIONS OF INSULATION / VENTILATION INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- An analysis of indoor air quality is not part of our inspection unless explicitly contracted-for and discussed in this or a separate report.
- Any estimates of insulation R values or depths are rough average values.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Plumbing

DESCRIPTION OF PLUMBING

Water Supply Source:	•Public Water Supply
Service Pipe to House:	•Copper
Main Water Valve Location:	•Front Wall of Basement
Interior Supply Piping:	•Copper
Waste System:	•Public Sewer System
Drain, Waste, & Vent Piping:	•Plastic
Water Heater:	•Gas •Approximate Capacity (in gallons): 40 •Manufacturer: US Craftmaster •Serial Number: 9731104279
Fuel Shut-Off Valves:	•Natural Gas Main Valve At Meter

PLUMBING OBSERVATIONS

Positive Attributes

The plumbing system is in generally good condition. The water pressure supplied to the fixtures is reasonably good. A typical drop in flow was experienced when two fixtures were operated simultaneously. The plumbing fixtures appear to have been well-maintained.

General Comments

The plumbing system requires some typical minor improvements.

RECOMMENDATIONS / OBSERVATIONS

Water Heater

- **Monitor:** Water heaters have a typical life expectancy of 7 to 12 years. The existing unit is approaching or has exceeded this age range. One cannot predict with certainty when replacement will become necessary.
- **Repair:** The discharge piping serving the Temperature and Pressure Relief (TPR) Valve for the water heater should terminate not less than 6 inches or more than 24 inches above the floor.



Waste / Vent

- **Repair:** The basement bathroom sink drain pipe is leaking.

**Basement
bathroom sink**



Plumbing Fixtures

- **Repair:** The sink drain plug is missing and needs repair in the hallway and master bedroom bathrooms.
- **Improve:** Cracked, deteriorated and/or missing shower stall grout and caulk should be improved.(very minor)

Master bedroom shower



- **Monitor, Repair:** Typical evidence of minor water damage to the trim adjacent to the bathtub was observed. Repair is discretionary.



- **Monitor, Repair:** Both hose bibs are leaky when the water is running. Repair is discretionary.



LIMITATIONS OF PLUMBING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.
- Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.
- Clothes washing machine connections are not inspected.
- Interiors of flues or chimneys which are not readily accessible are not inspected.
- Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Interior

DESCRIPTION OF INTERIOR

Wall And Ceiling Materials:	•Drywall •Suspended Tile
Floor Surfaces:	•Carpet •Vinyl/Resilient •Tile
Window Type(s) & Glazing:	•Casement •Double/Single Hung •Thermal Pane
Doors:	•Wood-Hollow Core •Storm Door(s)

INTERIOR OBSERVATIONS

General Condition of Interior Finishes

On the whole, the interior finishes of the home are in average condition. Typical flaws were observed in some areas.

General Condition of Windows and Doors

The majority of the doors and windows are average quality. The windows have, for the most part, been well-maintained.

RECOMMENDATIONS / OBSERVATIONS

Wall / Ceiling Finishes

- **Monitor, Repair:** Water staining and damage was noted on the garage ceiling.



- **Monitor, Repair:** Damage to the garage drywall was observed.



- **Monitor:** Other typical drywall and/or plaster flaws were observed that could include loose tape, minor cracks, rough seams, peeling paper, nail popping, minor patching, loose or bulging plaster, etc. Any repairs would be discretionary.

Floors

- **Monitor, Repair:** The carpet flooring in the basement bedroom doorway has minor damage



- **Monitor, Repair:** The carpet shows typical wear and/or soiled spots and stains needs stretching in some areas.



Doors

- **Repair:** Door to the hallway bathroom should be adjusted as necessary to latch properly.
- **Repair:** The front door should be trimmed or adjusted as necessary to not catch on the frame in the upper corner.

Kitchen Cabinets

- **Repair:** Damaged kitchen drawer guide on the right side of the oven should be repaired.

Basement Leakage

- **Monitor:** No evidence of moisture penetration was visible in the basement at the time of the inspection. *It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future.* The vast majority of basement leakage problems are the result of insufficient control of storm water at the surface. The ground around the house should be sloped to encourage water to flow away from the foundation. Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation or into a functional storm sewer. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation are the most common source of basement leakage. Please refer to the Roofing and Exterior sections of the report for more information.

In the event that basement leakage problems are experienced, lot and roof drainage improvements should be undertaken as a first step. Please beware of contractors who recommend expensive solutions. Excavation, damp-proofing and/or the installation of drainage tiles should be a last resort. In some cases, however, it is necessary. Your plans for using the basement may also influence the approach taken to curing any dampness that is experienced. If another rain occurs before closing, it's recommended the basement be viewed again for any signs of moisture penetration.

LIMITATIONS OF INTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects.
- Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.
- The adequacy of the fireplace draw cannot be determined during a visual inspection.
- Portions of the foundation walls were concealed from view.
- Some rooms were fully accessible due to furniture, personal belongings and storage.



Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Appliances

DESCRIPTION OF APPLIANCES

Appliances Tested:

- Electric Range •Microwave Oven •Dishwasher •Waste Disposer
- Refrigerator

Laundry Facility:

- Dryer Vented to Building Exterior •Hot and Cold Water Supply for Washer
- Waste Standpipe for Washer

Other Components Tested:

- Door Bell

APPLIANCES OBSERVATIONS

Positive Attributes

All appliances that were tested responded satisfactorily. The kitchen and laundry facilities are well organized.

General Comments

The appliances are middle aged. As such, they will become slightly more prone to breakdowns; however, several years of serviceable life should remain.

RECOMMENDATIONS / OBSERVATIONS

Door Bell

- **Monitor, Repair:** The door bell button is damaged but functional.



LIMITATIONS OF APPLIANCES INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Thermostats, timers and other specialized features and controls are not tested.
- The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Fireplaces / Wood Stoves

DESCRIPTION OF FIREPLACES / WOOD STOVES

Fireplaces: •Gas
Vents, Flues, Chimneys: •Metal Flue-Insulated Multi-Wall

FIREPLACES / WOOD STOVES OBSERVATIONS

General Comments

On the whole, the fireplace and it's components were found to be in average condition. Typical flaws were observed in some areas.

RECOMMENDATIONS / OBSERVATIONS

Fireplaces

- **Monitor:** Although this fireplace is rated for burning wood, the rear wall does not stand up to the heat from burning wood. Some deterioration of the rear wall was observed. This should be monitored closely.

LIMITATIONS OF FIREPLACES / WOOD STOVES INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- The interiors of flues or chimneys are not inspected.
- Firescreens, fireplace doors, appliance gaskets and seals, automatic fuel feed devices, mantles and fireplace surrounds, combustion make-up air devices, and heat distribution assists (gravity or fan-assisted) are not inspected.
- The inspection does not involve igniting or extinguishing fires nor the determination of draft.
- Fireplace inserts, stoves, or firebox contents are not moved.

Other Fireplace/Stove Components Not Inspected:

- Interiors of flues or chimneys
- The adequacy of the fireplace draw is not determined during a visual inspection; for safety reasons, if no fire is burning we do not ignite fires nor light paper or other materials.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.