



Star Home Inspection Services

Home Inspection Report

11409 W 67th Terr, Shawnee, KS 66203

Inspection Date: 12/18/2008

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Report Overview

THE HOUSE IN PERSPECTIVE

This is a well built home. As with all homes, ongoing maintenance is required and improvements to the systems of the home will be needed over time. *The improvements that are recommended in this report are not considered unusual for a home of this age and location.* Please remember that there is no such thing as a perfect home.

CONVENTIONS USED IN THIS REPORT

For your convenience, the following conventions have been used in this report.

Major Concern: a system or component which is considered significantly deficient or is unsafe. Significant deficiencies need to be corrected and, except for some safety items, are likely to involve significant expense.

Safety Issue: denotes a condition that is unsafe and in need of prompt attention.

Repair: denotes a system or component which is missing or which needs corrective action to assure proper and reliable function.

Improve: denotes improvements which are recommended but not required.

Monitor: denotes a system or component needing further investigation and/or monitoring in order to determine if repairs are necessary.

Please note that those observations listed under “Discretionary Improvements” are not essential repairs, but represent logical long term improvements.

- For the purpose of this report, it is assumed that the house faces north.

IMPROVEMENT RECOMMENDATION HIGHLIGHTS / SUMMARY

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations.

All issues found in this report should be addressed with the appropriate parties to make any improvements, corrections or repairs necessary. All improvements, corrections and repairs should meet the satisfaction of the client named on this report and the inspection agreement associated with this report prior to closing. This report and the findings listed herein are intended for the client only and is not transferable without a signed written agreement.

Foundation

- **Monitor:** Common minor settlement cracks were observed in the foundation walls. This implies that some structural movement of the building has occurred. Cracks of this type should be watched for any sign of additional movement. In the absence of any sign of ongoing movement, repair should not be necessary.

Gutters & Downspouts

- **Repair:** The downspout(s) (example at southwest back corner) should discharge water at least five (5) feet from the house. Storm water should be encouraged to flow away from the building at the point of discharge.

Sloped Roofing

- **Repair:** Exposed nail heads and guy wire eye hook at roof should be caulked (see pictures at last page of report).
- **Repair:** Rusted furnace vent cap should be replaced. Rusted flashing should be painted to extend its life.

Exterior Walls

- **Repair:** The exterior siding paint is peeling and/or worn thin in localized areas (example above front northeast windows). These areas should be painted to prevent water damage or rot in the future.
- **Repair:** The paint on the trim around the siding is peeling in localized areas. These areas should be painted to prevent water damage and rot.
- **Monitor, Repair:** Localized minor damage of the exterior siding should be repaired. There is extra risk of hidden damage in such areas.
- **Monitor:** The asbestos cement siding is a durable long term siding. It is relatively brittle and may be subject to physical damage. If removal of this siding is anticipated, special precautions may be necessary when handling and disposing of the material as it contains asbestos.

Exterior Eaves

- **Repair:** The eaves are peeling at localized places (example at east side of house) and they should be painted to prevent water damage and rot.

Windows

- **Repair:** The window frames trim require painting.
- **Repair:** Localized evidence of rot was visible on window trim/frame. Repair to the window frame can usually be accomplished by a skilled carpenter. It's recommended that a thorough "inventory" be taken by a competent window repair technician to ascertain exactly how many areas will need to be repaired or replaced. Further evaluation by a specialist may well identify additional areas that require servicing.

Lot Drainage

- **Recommend:** The grading should be maintained to promote the flow of storm water away from the house. This can often be accomplished by the addition of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first ten feet. At least eight (8) inches of clearance should be maintained between soil level and the bottom of exterior wall siding.
- **Monitor:** The driveway appears to slope towards the house. This condition can cause water entry in the building. Unfortunately, it is difficult to improve this situation without adding a special intercept drain system at the garage entry. Monitor closely during heavy rains or water runoff. Improvements may be needed if the water does not drain off to the side of the driveway and away from the garage.

Deck

- **Monitor:** The deck has been built at grade level. This configuration is prone to rot and insect activity.

Landscaping

- **Repair:** Tree branches should be trimmed away from the house to avoid damage to the building.

Service / Entrance

- **Improve:** The service wires do not have adequate clearance from the ground. The top of the service mast and the service wires should be at least fifteen (15) feet from the ground.

Distribution Wiring

- **Repair:** All junction boxes should be fitted with cover plates (example in attic), in order to protect the wire connections.

Outlets

- **Repair:** An outlet (marked "rev pol" with blue tape) has reversed polarity (i.e. it is wired backwards). This outlet and the circuit should be investigated and repaired as necessary.
- **Repair:** Ungrounded 3-prong outlets (marked with blue tape) should be repaired. In some cases a ground wire may be present in the electrical box and simply needs to be connected. If no ground is present "repair" can be as simple as filling the ground slot with epoxy. Better, since having a ground increases safety, a grounded circuit could be strung to this outlet, or a separate ground wire could be connected. Some electrical codes allow the installation of a ground fault circuit interrupter (GFCI) type outlet where grounding is not provided. In this case the GFCI may work but can't be tested by normal means.
- **Repair:** A ground fault circuit interrupter (GFCI) outlet (marked with blue tape) did not respond correctly to testing during the inspection. This receptacle should be repaired/replaced.

Smoke Detectors

- **Repair, Safety Issue:** The smoke detector in the east recreation room did not respond to testing. Suspect batteries dead.

Furnace

- **Repair:** The humidifier has lacked maintenance. Cleaning and repairs should be undertaken. Watch out for humidifier leaks into the furnace where costly (and hidden) damage can occur.

Central Air Conditioning

- **Repair:** Damaged insulation on refrigerant lines should be repaired.
- **Improve:** The outdoor unit of the air conditioning system requires cleaning.
- **Monitor:** The fins of the outdoor portion of the air conditioning system were observed to be damaged. This condition can reduce the efficiency of the system.

Attic / Roof

- **Repair:** Insulation should be evened out.
- **Repair:** Gable vent screens are missing. They should be replaced to prevent vermin or insect activity.

Crawl Space

- **Improve:** The moisture (vapor) barrier in the crawl space has come loose and it may be desirable to adjust or add to cover all areas of exposed soil.

Water Heater

- **Monitor:** Water heaters have a typical life expectancy of 7 to 12 years. The existing unit is approaching or has exceeded this age range. One cannot predict with certainty when replacement will become necessary.

Gas Piping

- **Repair:** Copper tubing is no longer suitable for gas piping. It's recommended this pipe servicing the water heater be replaced with one of suitable material.

Supply Plumbing

- **Repair:** A supply valve handle in the crawl space is missing.

Waste / Vent

- **Monitor:** The lead waste piping is old and prone to leakage at the connections.

Plumbing Fixtures

- **Repair:** The bathroom sink drain plug is inoperative or missing and needs repair.
- **Repair:** The shower head is leaky.
- **Monitor, Repair:** The shower stall requires repair. Any damage to the wall behind the tile should also be repaired (if necessary). Further investigation may reveal the need to rebuild a portion of the shower stall.
- **Improve:** Cracked, deteriorated and/or missing bathtub enclosure caulk should be replaced.
- **Repair:** The bathtub drain plug is inoperative or missing and needs repair.

Wall / Ceiling Finishes

- **Monitor:** Typical drywall flaws were observed that could include, minor cracks (examples in southwest bedroom ceiling and east recreation room), rough seams, nail popping, minor patching, etc. Any repairs would be discretionary.

Windows

- **Monitor:** It may be desirable to replace window screen at back window where missing. The owner should be consulted regarding any screens that may be in storage.

Kitchen Cabinets

- **Improve:** Back wall below kitchen sink cabinets should be insulated or better sealed to prevent drafts in room.

THE SCOPE OF THE INSPECTION

All components designated for inspection in the ASHI® Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report.

It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind.

This inspection is visual only. A representative sample of building components are viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of building components is performed.

Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

WEATHER CONDITIONS

There was snow on the ground during the course of the inspection.

The estimated outside temperature was 31 degrees F.

RECENT WEATHER CONDITIONS

Winter weather conditions have been experienced in the days leading up to the inspection.

Structure

DESCRIPTION OF STRUCTURE

Foundation:	•Concrete Block •Crawl Space Configuration
Columns:	•Concrete Block
Floor Structure:	•Wood Joist
Wall Structure:	•Wood Frame
Ceiling Structure:	•Joist
Roof Structure:	•Rafters •Solid Plank Sheathing

STRUCTURE OBSERVATIONS

Positive Attributes

The construction of the home is good quality. The materials and workmanship, where visible, are good. The visible joist spans appear to be within typical construction practices. The inspection did not discover evidence of substantial structural movement.

General Comments

No major defects were observed in the accessible structural components of the house.

RECOMMENDATIONS / OBSERVATIONS

Foundation

- **Monitor:** Common minor settlement cracks were observed in the foundation walls. This implies that some structural movement of the building has occurred. Cracks of this type should be watched for any sign of additional movement. In the absence of any sign of ongoing movement, repair should not be necessary.

LIMITATIONS OF STRUCTURE INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Structural components concealed behind finished surfaces could not be inspected.
- Only a representative sampling of visible structural components were inspected.
- Furniture and/or storage restricted access to some structural components.
- Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Roofing

DESCRIPTION OF ROOFING

Roof Covering:	•Asphalt Shingle •Single Ply Membrane
Roof Flashings:	•Metal
Chimneys:	•None
Roof Drainage System:	•Aluminum •Downspouts discharge above and below grade
Skylights:	•None
Method of Inspection:	•Viewed from ladder at eave

ROOFING OBSERVATIONS

Positive Attributes

Where investigated, eave protection has been installed below the sloped roof coverings. This reduces the risk of roof leakage, should ice damming develop in the winter. The gutters are clean. The roof coverings are to be in generally good condition. The steep pitch of the roof should result in a longer than normal life expectancy for roof coverings.

RECOMMENDATIONS / OBSERVATIONS

Gutters & Downspouts

- **Repair:** The downspout(s) (example at southwest back corner) should discharge water at least five (5) feet from the house. Storm water should be encouraged to flow away from the building at the point of discharge.

Sloped Roofing

- **Repair:** Exposed nail heads and guy wire eye hook at roof should be caulked (see pictures at last page of report).
- **Repair:** Rusted furnace vent cap should be replaced. Rusted flashing should be painted to extend its life.



LIMITATIONS OF ROOFING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Not all of the underside of the roof sheathing is inspected for evidence of leaks.
- Evidence of prior leaks may be disguised by interior finishes.
- Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, and other factors.
- Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.
- Roof inspection may be limited by access, condition, weather, or other safety concerns (some snow on front section).

Exterior

DESCRIPTION OF EXTERIOR

Wall Covering:	•Asbestos Cement Siding
Eaves, Soffits, And Fascias:	•Wood
Exterior Doors:	•Metal
Window/Door Frames and Trim:	•Vinyl Clad
Entry Driveways:	•Concrete
Entry Walkways And Patios:	•Concrete
Porches, Decks, Steps, Railings:	•Concrete •Treated Wood (Not visible due to snow)
Overhead Garage Door(s):	•None
Surface Drainage:	•Level Grade
Retaining Walls:	•Prefab Masonry
Fencing:	•Wood •Chain Link

EXTERIOR OBSERVATIONS

Positive Attributes

The exterior siding that has been installed on the house is relatively low maintenance. Window frames are clad, for the most part, with a low maintenance material. The driveway and walkways are in good condition.

General Comments

The exterior of the home shows normal wear and tear for a home of this age.

RECOMMENDATIONS / OBSERVATIONS

Exterior Walls

- **Repair:** The exterior siding paint is peeling and/or worn thin in localized areas (example above front northeast windows). These areas should be painted to prevent water damage or rot in the future.
- **Repair:** The paint on the trim around the siding is peeling in localized areas. These areas should be painted to prevent water damage and rot.
- **Monitor, Repair:** Localized minor damage of the exterior siding should be repaired. There is extra risk of hidden damage in such areas.



- **Monitor:** The asbestos cement siding is a durable long term siding. It is relatively brittle and may be subject to physical damage. If removal of this siding is anticipated, special precautions may be necessary when handling and disposing of the material as it contains asbestos.

Exterior Eaves

- **Repair:** The eaves are peeling at localized places (example at east side of house) and they should be painted to prevent water damage and rot.

Windows

- **Repair:** The window frames trim require painting.
- **Repair:** Localized evidence of rot was visible on window trim/frame. Repair to the window frame can usually be accomplished by a skilled carpenter. It's recommended that a thorough "inventory" be taken by a competent window repair technician to ascertain exactly how many areas will need to be repaired or replaced. Further evaluation by a specialist may well identify additional areas that require servicing.



Lot Drainage

- **Recommend:** The grading should be maintained to promote the flow of storm water away from the house. This can often be accomplished by the addition of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first ten feet. At least eight (8) inches of clearance should be maintained between soil level and the bottom of exterior wall siding.
- **Monitor:** The driveway appears to slope towards the house. This condition can cause water entry in the building. Unfortunately, it is difficult to improve this situation without adding a special intercept drain system at the garage entry. Monitor closely during heavy rains or water runoff. Improvements may be needed if the water does not drain off to the side of the driveway and away from the garage.

Deck

- **Monitor:** The deck has been built at grade level. This configuration is prone to rot and insect activity.

Landscaping

- **Repair:** Tree branches should be trimmed away from the house to avoid damage to the building.



LIMITATIONS OF EXTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- A representative sample of exterior components was inspected rather than every occurrence of components.
- The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.
- Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.
- Access below decks and/or porches was extremely limited.
- Snow restricted an inspection of the lot and various other aspects of the exterior of the house.
- Unfavorable weather restricted the inspection of the roofing system.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Electrical

DESCRIPTION OF ELECTRICAL

Size of Electrical Service:	•120/240 Volt Main Service - Service Size: 100 Amps
Service Drop:	•Overhead
Service Entrance Conductors:	•Copper
Service Equipment & Main Disconnects:	•Main Service Rating 100 Amps •Breakers •Located: Laundry room
Service Grounding:	•Aluminum-Bare •Water Pipe Connection
Service Panel & Overcurrent Protection:	•Panel Rating: 100 Amp •Breakers •Located: Laundry room
Sub-Panel(s):	•None Visible
Distribution Wiring:	•Copper
Wiring Method:	• Non-Metallic Cable "Romex"
Switches & Receptacles:	•Grounded and Ungrounded
Ground Fault Circuit Interrupters:	•Bathroom(s) •Kitchen
Smoke Detectors:	•Present

ELECTRICAL OBSERVATIONS

Positive Attributes

The size of the electrical service is sufficient for typical single family needs. Generally speaking, the electrical system is in good order. The distribution of electricity within the home is good. Ground fault circuit interrupter (GFCI) devices have been provided in some areas of the home. These devices are extremely valuable, as they offer an extra level of shock protection. All GFCI's that were tested responded properly. Dedicated 220 volt circuits have been provided for all 220 volt appliances within the home. All visible wiring within the home is copper. This is a good quality electrical conductor.

General Comments

Inspection of the electrical system revealed the need for typical, minor repairs. Although these are not costly to repair, they should be high priority for safety reasons. *Unsafe electrical conditions represent a shock hazard.* A licensed electrician should be consulted to undertake the repairs recommended below.

RECOMMENDATIONS / OBSERVATIONS

Service / Entrance

- **Improve:** The service wires do not have adequate clearance from the ground. The top of the service mast and the service wires should be at least fifteen (15) feet from the ground.

Distribution Wiring

- **Repair:** All junction boxes should be fitted with cover plates (example in attic), in order to protect the wire connections.



Outlets

- **Repair:** An outlet (marked “rev pol” with blue tape) has reversed polarity (i.e. it is wired backwards). This outlet and the circuit should be investigated and repaired as necessary.
- **Repair:** Ungrounded 3-prong outlets (marked with blue tape) should be repaired. In some cases a ground wire may be present in the electrical box and simply needs to be connected. If no ground is present “repair” can be as simple as filling the ground slot with epoxy. Better, since having a ground increases safety, a grounded circuit could be strung to this outlet, or a separate ground wire could be connected. Some electrical codes allow the installation of a ground fault circuit interrupter (GFCI) type outlet where grounding is not provided. In this case the GFCI may work but can’t be tested by normal means.
- **Repair:** A ground fault circuit interrupter (GFCI) outlet (marked with blue tape) did not respond correctly to testing during the inspection. This receptacle should be repaired/replaced.

Smoke Detectors

- **Repair, Safety Issue:** The smoke detector in the east recreation room did not respond to testing. Suspect batteries dead.

Discretionary Improvements

Grounded outlets may be desirable in some areas where ungrounded outlets exist. This will depend on electrical needs.

LIMITATIONS OF ELECTRICAL INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Electrical components concealed behind finished surfaces are not inspected.
- Only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage restricted access to some electrical components which may not be inspected.
- The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, and other components which are not part of the primary electrical power distribution system.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Heating

DESCRIPTION OF HEATING

Energy Source:	•Gas
Heating System Type:	•Forced Air Furnace •Manufacturer: Comfortmaker
	•Serial Number: L9727 46968
Vents, Flues, Chimneys:	•Metal-Single Wall
Heat Distribution Methods:	•Ductwork
Other Components:	•Humidifier

HEATING OBSERVATIONS

Positive Attributes

The heating system is in generally good condition. Heating a home with a this type of heating system should be relatively economical. Adequate heating capacity is provided by the system. Heat distribution within the home is adequate. The heating system is controlled by a “set back” thermostat. This type of thermostat, if set up correctly, helps reduce heating costs.

General Comments

The heating system shows no visible evidence of major defects.

RECOMMENDATIONS / OBSERVATIONS

Furnace

- **Repair:** The humidifier has lacked maintenance. Cleaning and repairs should be undertaken. Watch out for humidifier leaks into the furnace where costly (and hidden) damage can occur.

LIMITATIONS OF HEATING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- The adequacy of heat supply or distribution balance is not inspected.
- The interior of flues or chimneys which are not readily accessible are not inspected.
- The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected.
- Solar space heating equipment/systems are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Cooling / Heat Pumps

DESCRIPTION OF COOLING / HEAT PUMPS

Energy Source:	•Electricity
Central System Type:	•Air Cooled Central Air Conditioning •Manufacturer: Comfortmaker
	•Serial Number: L97226 60182
Size of Circuit:	•Circuit Size: Minimum Circuit Size 18.4 Amps/Maximum Breaker Size 30 Amps •Breaker Size In Main Panel: 30
Other Components:	•House Fan

COOLING / HEAT PUMPS OBSERVATIONS

Positive Attributes

The capacity and configuration of the system should be sufficient for the home. The location of the return air vents is well suited to air conditioning.

RECOMMENDATIONS / OBSERVATIONS

Central Air Conditioning

- **Repair:** Damaged insulation on refrigerant lines should be repaired.
- **Improve:** The outdoor unit of the air conditioning system requires cleaning.
- **Monitor:** The fins of the outdoor portion of the air conditioning system were observed to be damaged. This condition can reduce the efficiency of the system.

LIMITATIONS OF COOLING / HEAT PUMPS INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Window mounted air conditioning units are not inspected.
- The cooling supply adequacy or distribution balance are not inspected.
- The air conditioning system could not be tested as the outdoor temperature was below 60 degrees F.
- The system was not tested.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Insulation / Ventilation

DESCRIPTION OF INSULATION / VENTILATION

Attic Insulation:	•Rolled Fiberglass in Main Attic
Roof Cavity Insulation:	•None Visible
Exterior Wall Insulation:	•Not Visible
Crawl Space Insulation:	•Some insulation found on crawl space piping
Vapor Retarders:	•Kraft Paper
Roof Ventilation:	•Roof Vents •Gable Vents
Crawl Space Ventilation:	•Exterior Wall Vents
Exhaust Fan/vent Locations:	•Dryer

INSULATION / VENTILATION OBSERVATIONS

Positive Attributes

Insulation levels are typical for a home of this age and construction.

General Comments

Most old homes have relatively low levels of insulation. The down side, of course, is that heating and/or cooling costs are higher. The up side is that these homes tend to be fairly well ventilated. Their natural ability to allow infiltration of outside air actually improves indoor air quality. Improving insulation levels will reduce energy costs; however, the potential benefit should we carefully weighed against the cost of improvements.

RECOMMENDATIONS / ENERGY SAVING SUGGESTIONS

Attic / Roof

- **Repair:** Insulation should be evened out.



- **Repair:** Gable vent screens are missing. They should be replaced to prevent vermin or insect activity.

Crawl Space

- **Improve:** The moisture (vapor) barrier in the crawl space has come loose and it may be desirable to adjust or add to cover all areas of exposed soil.



LIMITATIONS OF INSULATION / VENTILATION INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- An analysis of indoor air quality is not part of our inspection unless explicitly contracted-for and discussed in this or a separate report.
- Any estimates of insulation R values or depths are rough average values.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Plumbing

DESCRIPTION OF PLUMBING

Water Supply Source:	•Public Water Supply
Service Pipe to House:	•Steel
Main Water Valve Location:	•Crawl Space
Interior Supply Piping:	•Steel
Waste System:	•Public Sewer System
Drain, Waste, & Vent Piping:	•Cast Iron •Steel •Lead
Water Heater:	•Gas •Approximate Capacity (in gallons): 40 •Manufacturer: US Craftmaster •Serial Number: Unviewable
Fuel Shut-Off Valves:	•Natural Gas Main Valve At Meter

PLUMBING OBSERVATIONS

Positive Attributes

The plumbing system is in generally good condition. The water pressure supplied to the fixtures is above average. Only a slight drop in flow was experienced when two fixtures were operated simultaneously.

General Comments

The plumbing system requires some typical minor improvements.

RECOMMENDATIONS / OBSERVATIONS

Water Heater

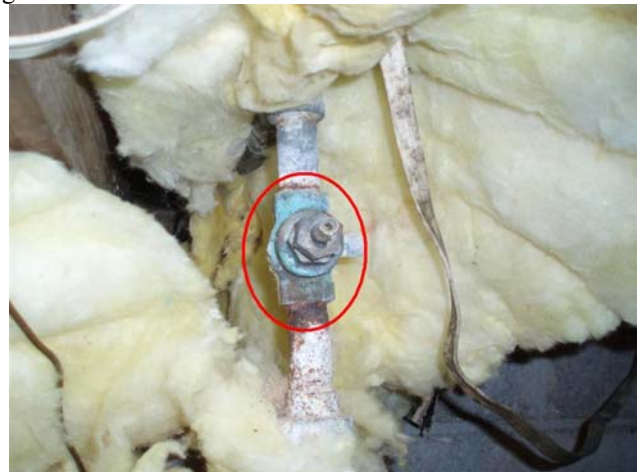
- **Monitor:** Water heaters have a typical life expectancy of 7 to 12 years. The existing unit is approaching or has exceeded this age range. One cannot predict with certainty when replacement will become necessary.

Gas Piping

- **Repair:** Copper tubing is no longer suitable for gas piping. It's recommended this pipe servicing the water heater be replaced with one of suitable material.

Supply Plumbing

- **Repair:** A supply valve handle in the crawl space is missing.



Waste / Vent

- **Monitor:** The lead waste piping is old and prone to leakage at the connections.



Plumbing Fixtures

- **Repair:** The bathroom sink drain plug is inoperative or missing and needs repair.
- **Repair:** The shower head is leaky.
- **Monitor, Repair:** The shower stall requires repair. Any damage to the wall behind the tile should also be repaired (if necessary). Further investigation may reveal the need to rebuild a portion of the shower stall.
- **Improve:** Cracked, deteriorated and/or missing bathtub enclosure caulk should be replaced.
- **Repair:** The bathtub drain plug is inoperative or missing and needs repair.

Discretionary Improvements

Tile shower stalls, by their nature, have a limited life expectancy. The life of a shower stall usually varies from 3 to 20 years, depending on the quality of the installation (usually not verifiable during a visual inspection) and the level of maintenance. At some point (typically when leakage occurs), rebuilding the tile shower stall becomes necessary.

LIMITATIONS OF PLUMBING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.
- Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.
- Clothes washing machine connections are not inspected.
- Interiors of flues or chimneys which are not readily accessible are not inspected.
- Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.
- Hose bibs that were shut off were not tested.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Interior

DESCRIPTION OF INTERIOR

Wall And Ceiling Materials:	•Drywall •Tile
Floor Surfaces:	•Vinyl/Resilient •Wood
Window Type(s) & Glazing:	•Double/Single Hung
Doors:	•Metal •Storm Door(s)

INTERIOR OBSERVATIONS

General Condition of Interior Finishes

On the whole, the interior finishes of the home are in average condition. Typical flaws were observed in some areas.

General Condition of Windows and Doors

The majority of the doors and windows are good quality.

General Condition of Floors

The floors of the home are relatively level and walls are relatively plumb.

RECOMMENDATIONS / OBSERVATIONS

Wall / Ceiling Finishes

- **Monitor:** Typical drywall flaws were observed that could include, minor cracks(examples in southwest bedroom ceiling and east recreation room), rough seams, nail popping, minor patching, etc. Any repairs would be discretionary.

Windows

- **Monitor:** It may be desirable to replace window screen at back window where missing. The owner should be consulted regarding any screens that may be in storage.

Kitchen Cabinets

- **Improve:** Back wall below kitchen sink cabinets should be insulated or better sealed to prevent drafts in room.

LIMITATIONS OF INTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects.
- Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Appliances

DESCRIPTION OF APPLIANCES

Appliances Tested:

•Gas Range •Gas Cooktop •Microwave Oven •Dishwasher •Waste Disposer

Laundry Facility:

•Dryer Vented to Building Exterior •Hot and Cold Water Supply for Washer

Other Components Tested:

•Waste Standpipe for Washer

•Door Bell

APPLIANCES OBSERVATIONS

Positive Attributes

Some of the major appliances in the home are newer. The appliances are to be in generally good condition. All appliances that were tested responded satisfactorily. The kitchen and laundry facilities are well organized.

RECOMMENDATIONS / OBSERVATIONS

LIMITATIONS OF APPLIANCES INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Thermostats, timers and other specialized features and controls are not tested.
- The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Additional Roofing Pictures below:

