



**Star
Home
Inspection Services**

Home Inspection Report

111 S Prairie Ct Liberty, MO 64068

Inspection Date: 06/07/2010

Prepared For: Curt Whitlock

Prepared By: Star Home Inspection Services LLC
705B SE Melody Lane, Suite 124
Lee's Summit, MO 64063
(816) 554-1110
(816) 554-2135 Fax

Report Number: 06072010-2L

Inspector: Larry Carter



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Report Overview

THE HOUSE IN PERSPECTIVE

This is a well built home. As with all homes, ongoing maintenance is required and improvements to the systems of the home will be needed over time. *The improvements that are recommended in this report are not considered unusual for a home of this age and location.* Please remember that there is no such thing as a perfect home.

CONVENTIONS USED IN THIS REPORT

For your convenience, the following conventions have been used in this report.

Major Concern: a system or component which is considered significantly deficient or is unsafe. Significant deficiencies need to be corrected and, except for some safety items, are likely to involve significant expense.

Safety Issue: denotes a condition that is unsafe and in need of prompt attention.

Repair: denotes a system or component which is missing or which needs corrective action to assure proper and reliable function.

Improve: denotes improvements which are recommended but not required.

Monitor: denotes a system or component needing further investigation and/or monitoring in order to determine if repairs are necessary.

Please note that those observations listed under “Discretionary Improvements” are not essential repairs, but represent logical long term improvements.

- For the purpose of this report, it is assumed that the house faces east.

IMPROVEMENT RECOMMENDATION HIGHLIGHTS / SUMMARY

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations.

All issues found in this report should be addressed with the appropriate parties to make any improvements, corrections or repairs necessary. All improvements, corrections and repairs should meet the satisfaction of the client named on this report and the inspection agreement associated with this report prior to closing. This report and the findings listed herein are intended for the client only and is not transferable without a signed written agreement.

Status of listed issues in red are made by seller. If no comments, all items should be considered “AS IS”.

Roof

- **Monitor:** One roof rafter in the upper attic is cracked. Cracked rafters are repaired by replacement, “sister” rafters along side, or additional support. Where one or very few damaged rafters are found, this work is not high priority and can be combined with other structural or carpentry repairs at the property.
- **Monitor:** Some minor unevenness in the roof sheathing was observed. This is common where roof rafters are spaced two feet apart, allowing sagging between rafters or when some of the sheathing has been replaced during a roof replacement. There was no evidence of repairs needed in these areas.

Flashings

- **Repair:** The drip rail flashing on the northeast corner over the garage is a poor fit and should be repaired to avoid water damage to the sheathing.

Chimneys

- **Repair:** The masonry chimney shows evidence of substantial spalling (surface deterioration of the masonry). Rebuilding of this chimney is needed.
- **Monitor, Repair:** The cap of the masonry chimney is cracked. These cracks should be sealed or caulked before winter to prevent damage from freezing water.

- **Repair:** A rain cap and vermin screen should be installed on the masonry chimney and the chimney flue should be checked for damage. Damaged flues can be unsafe.

Exterior Walls

- **Repair:** The paint on the roof vent over the garage should be touched up to prevent water damage and rot.
- **Monitor:** The asbestos cement siding is a durable long term siding and stands up well against the elements. However, it is relatively brittle and may be subject to physical damage. If removal of this siding is anticipated, special precautions may be necessary when handling and disposing of the material as it contains asbestos.

Doors

- **Monitor, Repair:** The paint on the front door threshold is peeling and the red undercoating is showing. The same holds true for the corners of the living room windows. A new coat of paint may be desirable.
- **Repair:** Localized rot was visible on the garage walkout door threshold and there are gaps in the trim around the siding and door. Repair to the threshold and frame can usually be accomplished by a skilled carpenter.
- **Repair:** The basement walkout door frame should be painted around the locking hardware to prevent water damage and rot.

Garage

- **Monitor, Safety Issue:** Pronounced floor cracks were noted in the garage. While this amount of cracking is unusual, this slab is not a structural component you should be aware of the trip hazard.

Lot Drainage

- **Monitor, Repair:** The grading should be improved and/or maintained to promote the flow of storm water away from the house. This can often be accomplished by the addition of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first five feet. At least eight (8) inches of clearance should be maintained between soil level and the bottom of exterior wall siding. *It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future. If another rain occurs before closing, it's recommended the basement be viewed again for any signs of moisture penetration.*

Patio

- **Monitor:** The patio has settled and cracked. Persisting movement may result in the need for repairs.

Driveway

- **Monitor:** The soil below the driveway has settled and/or heaved resulting in major cracking and there is also some surface deterioration. Persisting movement may result in the need for resurfacing.

Walkway

- **Recommend, Safety Issue:** The walkway has settled and cracked resulting in a trip hazard. This condition should be altered for improved safety.

Landscaping

- **Monitor:** Tree branches should be kept trimmed away from the house to avoid damage to the building.

Fencing

- **Repair:** The fencing is in fair condition. Minor repairs are needed, especially to the gates and/or latch mechanism for them to function properly.

Switches

- **Repair:** Missing switch cover plate for the furnace service switch should be replaced to avoid a shock hazard.

Furnace

- **Monitor, Repair:** The saddle valve for the humidifier water supply appears to be closed and the humidifier may not be functional. Repair is discretionary.
- **Repair:** The dirty air filter should be replaced.

Attic / Roof

- **Recommend:** Insulation should be evened out.

Gas Piping

- **Monitor, Repair:** Copper tubing was observed going through the rear foundation wall and appears to be open ended in the patio for a gas grill that is no longer present. Copper tubing is no longer suitable for gas piping by most gas utility companies. It's recommended this tubing be removed and the pipe capped in the crawl space.
- **Repair, Safety Issue:** Flexible gas appliance connectors should not pass through walls, floors or the appliance housing as is the case of the gas range. This connector should be replaced with one of suitable solid gas piping and a shut off installed in the kitchen.

Plumbing Fixtures

- **Monitor, Repair:** The bathroom sink was observed to drain slowly, suggesting that an obstruction may exist.
- **Recommend:** The window and sill of the bathtub enclosure should be protected from moisture. A waterproof curtain is usually sufficient. Windows in bathtub enclosures have a reputation for allowing leakage behind the enclosure, causing damage to the wall.
- **Repair:** The bathtub drain plug is missing and needs repair or a rubber stopper could be used.

Wall / Ceiling Finishes

- **Monitor, Repair:** Minor damage to the garage drywall was observed. Repair is discretionary.
- **Monitor:** Typical drywall and/or plaster flaws were observed that could include loose tape, minor cracks, rough seams, peeling paper, nail popping, minor patching, loose or bulging plaster, etc. Any repairs would be discretionary.

Windows

- **Monitor, Repair:** The southwest bedroom awning window does not seal properly. Improvement can be undertaken as desired.
- **Monitor, Repair:** Window crank handles are damaged on both awning windows in the bedrooms but are functional.
- **Repair:** Minor damage to the southeast bedroom window screen was observed.
- **Monitor:** It may be desirable to replace window screens where missing such as the northeast bedroom and awning windows.

Doors

- **Repair:** The garage walkout door needs some improvements to function properly.

Basement Leakage

- **Monitor:** No evidence of moisture penetration was visible in the basement at the time of the inspection. *It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future.* The vast majority of basement leakage problems are the result of insufficient control of storm water at the surface. The ground around the house should be sloped to encourage water to flow away from the foundation. Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation or into a functional storm sewer. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation are the most common source of basement leakage. Please refer to the Roofing and Exterior sections of the report for more information.

In the event that basement leakage problems are experienced, lot and roof drainage improvements should be undertaken as a first step. Please beware of contractors who recommend expensive solutions. Excavation, damp-proofing and/or the installation of drainage tiles should be a last resort. In some cases, however, it is necessary. Your plans for using the basement may also influence the approach taken to curing any dampness that is experienced. If another rain occurs before closing, it's recommended the basement be viewed again for any signs of moisture penetration.

Fireplaces

- **Repair:** If there are plans to install a wood stove the chimney should be inspected and cleaned prior to operation.

THE SCOPE OF THE INSPECTION

All components designated for inspection in the ASHI® Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report.

It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind.

This inspection is visual only. A representative sample of building components are viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of building components is performed.

Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

WEATHER CONDITIONS

Dry weather conditions prevailed at the time of the inspection.

The estimated outside temperature was 80 degrees F.

RECENT WEATHER CONDITIONS

Occasional rain has been experienced in the days leading up to the inspection.

Structure

DESCRIPTION OF STRUCTURE

Foundation:	•Poured Concrete •Basement and Crawl Space Configuration •50% Of Foundation Was Not Visible From Inside Due To Finished Walls and/or Storage
Columns:	•Steel
Floor Structure:	•Wood Joist
Wall Structure:	•Wood Frame
Ceiling Structure:	•Joist •Rafters
Roof Structure:	•Rafters •Plywood Sheathing

STRUCTURE OBSERVATIONS

Positive Attributes

The construction of the home is good quality. The materials and workmanship, where visible, are good. The visible joist spans appear to be within typical construction practices. The inspection did not discover evidence of substantial structural movement.

General Comments

No major defects were observed in the accessible structural components of the house. No repair to structural components is necessary at this time.

RECOMMENDATIONS / OBSERVATIONS

Roof

- **Monitor:** One roof rafter in the upper attic is cracked. Cracked rafters are repaired by replacement, “sister” rafters along side, or additional support. Where one or very few damaged rafters are found, this work is not high priority and can be combined with other structural or carpentry repairs at the property.



- **Monitor:** Some minor unevenness in the roof sheathing was observed. This is common where roof rafters are spaced two feet apart, allowing sagging between rafters or when some of the sheathing has been replaced during a roof replacement. There was no evidence of repairs needed in these areas.

LIMITATIONS OF STRUCTURE INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Structural components concealed behind finished surfaces could not be inspected.
- Only a representative sampling of visible structural components were inspected.
- Furniture and/or storage restricted access to some structural components.
- Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Roofing

DESCRIPTION OF ROOFING

Roof Covering:	•Asphalt Shingle
Roof Flashings:	•Metal
Chimneys:	•Masonry
Roof Drainage System:	•Aluminum •Downspouts discharge above grade
Skylights:	•None
Method of Inspection:	•Walked on roof

ROOFING OBSERVATIONS

Positive Attributes

The roof coverings are to be in generally good condition. Roof flashing details appear to be in good order. The gutters are clean.

General Comments

In all, the roof coverings show evidence of normal wear and tear for a home of this age.

RECOMMENDATIONS / OBSERVATIONS

Flashings

- **Repair:** The drip rail flashing on the northeast corner over the garage is a poor fit and should be repaired to avoid water damage to the sheathing.



Chimneys

- **Repair:** The masonry chimney shows evidence of substantial spalling (surface deterioration of the masonry). Rebuilding of this chimney is needed.



- **Monitor, Repair:** The cap of the masonry chimney is cracked. These cracks should be sealed or caulked before winter to prevent damage from freezing water.



- **Repair:** A rain cap and vermin screen should be installed on the masonry chimney and the chimney flue should be checked for damage. Damaged flues can be unsafe.

Discretionary Improvements

Covering the gutters with a protective mesh may help to avoid congestion with leaves and debris.

The installation of rain caps and vermin screens on chimneys is a logical improvement.

LIMITATIONS OF ROOFING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Not all of the underside of the roof sheathing is inspected for evidence of leaks.
- Evidence of prior leaks may be disguised by interior finishes.
- Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, and other factors.
- Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.
- Roof inspection may be limited by access, condition, weather, or other safety concerns.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Exterior

DESCRIPTION OF EXTERIOR

Wall Covering:	•Asbestos Cement Siding
Eaves, Soffits, And Fascias:	•Wood
Exterior Doors:	•Metal •Sliding Glass
Window/Door Frames and Trim:	•Wood
Entry Driveways:	•Concrete
Entry Walkways And Patios:	•Concrete
Porches, Decks, Steps, Railings:	•Concrete
Overhead Garage Door(s):	•Metal
Surface Drainage:	•Level Grade •Graded Away From House
Retaining Walls:	•None
Fencing:	•Chain Link

EXTERIOR OBSERVATIONS

Positive Attributes

The exterior siding that has been installed on the house is relatively low maintenance. The wood window frames are in generally good condition. There is no significant wood/soil contact around the perimeter of the house, thereby reducing the risk of insect infestation or rot. Freeze resistant hose bibs (exterior faucets) have been installed.

General Comments

The exterior of the home is generally in good condition. The exterior of the home shows normal wear and tear for a home of this age.

RECOMMENDATIONS / OBSERVATIONS

Exterior Walls

- **Repair:** The paint on the roof vent over the garage should be touched up to prevent water damage and rot.



- **Monitor:** The asbestos cement siding is a durable long term siding and stands up well against the elements. However, it is relatively brittle and may be subject to physical damage. If removal of this siding is anticipated, special precautions may be necessary when handling and disposing of the material as it contains asbestos.

Doors

- **Monitor, Repair:** The paint on the front door threshold is peeling and the red undercoating is showing. The same holds true for the corners of the living room windows. A new coat of paint may be desirable.



- **Repair:** Localized rot was visible on the garage walkout door threshold and there are gaps in the trim around the siding and door. Repair to the threshold and frame can usually be accomplished by a skilled carpenter.



- **Repair:** The basement walkout door frame should be painted around the locking hardware to prevent water damage and rot.



Garage

- **Monitor, Safety Issue:** Pronounced floor cracks were noted in the garage. While this amount of cracking is unusual, this slab is not a structural component you should be aware of the trip hazard.



Lot Drainage

- **Monitor, Repair:** The grading should be improved and/or maintained to promote the flow of storm water away from the house. This can often be accomplished by the addition of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first five feet. At least eight (8) inches of clearance should be maintained between soil level and the bottom of exterior wall siding. *It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future. If another rain occurs before closing, it's recommended the basement be viewed again for any signs of moisture penetration.*

Patio

- **Monitor:** The patio has settled and cracked. Persisting movement may result in the need for repairs.



Driveway

- **Monitor:** The soil below the driveway has settled and/or heaved resulting in major cracking and there is also some surface deterioration. Persisting movement may result in the need for resurfacing.



Walkway

- **Recommend, Safety Issue:** The walkway has settled and cracked resulting in a trip hazard. This condition should be altered for improved safety.



Landscaping

- **Monitor:** Tree branches should be kept trimmed away from the house to avoid damage to the building.

Fencing

- **Repair:** The fencing is in fair condition. Minor repairs are needed, especially to the gates and/or latch mechanism for them to function properly.



Discretionary Improvements

Re-surfacing of the driveway would be a logical improvement.

At some point, it may be desirable to re-surface the walkways.

LIMITATIONS OF EXTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- A representative sample of exterior components was inspected rather than every occurrence of components.
- The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.
- Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Electrical

DESCRIPTION OF ELECTRICAL

Size of Electrical Service:	•120/240 Volt Main Service - Service Size: 100 Amps
Service Drop:	•Overhead
Service Entrance Conductors:	•Aluminum
Service Equipment & Main Disconnects:	•Main Service Rating 100 Amps •Breakers •Located: basement
Service Grounding:	•Copper •Ground Rod Connection
Service Panel & Overcurrent Protection:	•Panel Rating: 100 Amp •Breakers •Located: Basement
Distribution Wiring:	•Copper
Wiring Method:	• Non-Metallic Cable "Romex"
Switches & Receptacles:	•Grounded and Ungrounded
Ground Fault Circuit Interrupters:	•Bathroom(s) •Garage •Kitchen
Smoke Detectors:	•Present

ELECTRICAL OBSERVATIONS

Positive Attributes

The size of the electrical service is sufficient for typical single family needs. The electrical panel is well arranged and all fuses/breakers are properly sized relative to the wiring. Generally speaking, the electrical system is in good order. All outlets and light fixtures that were tested operated satisfactorily. The distribution of electricity within the home is good. Ground fault circuit interrupter (GFCI) devices have been provided in some areas of the home. These devices are extremely valuable, as they offer an extra level of shock protection. All GFCI's that were tested responded properly unless otherwise noted below. Dedicated 220 volt circuits have been provided for all 220 volt appliances within the home. All visible wiring within the home is copper. This is a good quality electrical conductor.

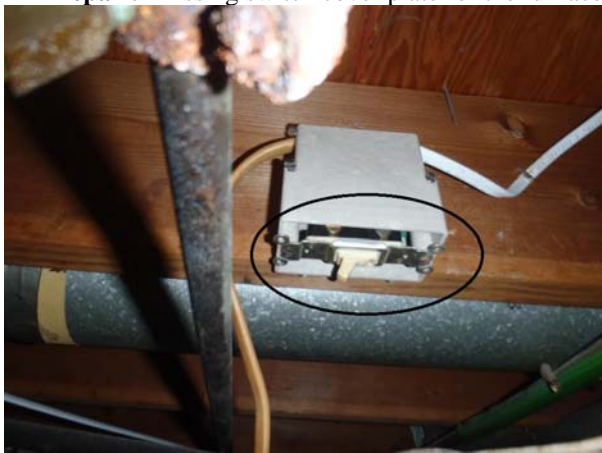
General Comments

Inspection of the electrical system revealed the need for typical, minor repairs. Although these are not costly to repair, they should be high priority for safety reasons. *Unsafe electrical conditions represent a shock hazard.* A licensed electrician should be consulted to undertake the repairs recommended below and any others that may be discovered during their inspection of the electrical system.

RECOMMENDATIONS / OBSERVATIONS

Switches

- **Repair:** Missing switch cover plate for the furnace service switch should be replaced to avoid a shock hazard.



LIMITATIONS OF ELECTRICAL INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Electrical components concealed behind finished surfaces are not inspected.
- Only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage restricted access to some electrical components which may not be inspected.
- The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, and other components which are not part of the primary electrical power distribution system.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Heating

DESCRIPTION OF HEATING

Energy Source:	•Gas
Heating System Type:	•Forced Air Furnace •Manufacturer: Payne •Serial Number: 4407A29604
Vents, Flues, Chimneys:	•Metal-Single Wall
Heat Distribution Methods:	•Ductwork
Other Components:	•Humidifier

HEATING OBSERVATIONS

Positive Attributes

The heating system is in generally good condition. Adequate heating capacity is provided by the system. Heat distribution within the home is adequate.

General Comments

The heating system shows no visible evidence of major defects. No repairs to the heating system are necessary at this time.

RECOMMENDATIONS / OBSERVATIONS

Furnace

- **Monitor, Repair:** The saddle valve for the humidifier water supply appears to be closed and the humidifier may not be functional. Repair is discretionary.
- **Repair:** The dirty air filter should be replaced.

LIMITATIONS OF HEATING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- The adequacy of heat supply or distribution balance is not inspected.
- The interior of flues or chimneys which are not readily accessible are not inspected.
- The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected.
- Solar space heating equipment/systems are not inspected.
- **The gas was off to the heating system, thereby preventing a test at the time of the inspection. A visual inspection only was performed and there are no evidence of repairs needed.**

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Cooling / Heat Pumps

DESCRIPTION OF COOLING / HEAT PUMPS

Energy Source:	•Electricity
Central System Type:	•Air Cooled Central Air Conditioning •Manufacturer: Carrier •Serial Number: 0689E10033
Size of Circuit:	•Circuit Size: Minimum Circuit Size 26.8 Amps/Maximum Circuit Breaker Size 45 Amps •Breaker Size In Main Panel: 30 Amps
Through-Wall Equipment:	•Not Present

COOLING / HEAT PUMPS OBSERVATIONS

Positive Attributes

The capacity and configuration of the system should be sufficient for the home. The location of the return air vents is well suited to air conditioning. The system responded properly to operating controls.

General Comments

The system shows no visible evidence of major defects. No repairs are necessary at this time.

RECOMMENDATIONS / OBSERVATIONS

LIMITATIONS OF COOLING / HEAT PUMPS INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Window mounted air conditioning units are not inspected.
- The cooling supply adequacy or distribution balance are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Insulation / Ventilation

DESCRIPTION OF INSULATION / VENTILATION

Attic Insulation:	•Loose Fiberglass/Mineral Wool in Main Attic
Exterior Wall Insulation:	•Not Visible
Basement Wall Insulation:	•None Visible
Crawl Space Insulation:	•None Visible
Vapor Retarders:	•Unknown
Roof Ventilation:	•Roof Vents
Crawl Space Ventilation:	•Exterior Wall Vents
Exhaust Fan/vent Locations:	•Dryer

INSULATION / VENTILATION OBSERVATIONS

Positive Attributes

Insulation levels are typical for a home of this age and construction.

General Comments

- Upgrading insulation levels in a home is an improvement rather than a necessary repair. Rooms that extend over unheated areas tend to be cooler than other areas of the home during winter months. Insulation improvements to the floor above the crawl space may be desirable, depending on the anticipated term of ownership.

RECOMMENDATIONS / ENERGY SAVING SUGGESTIONS

Attic / Roof

- **Recommend:** Insulation should be evened out.



LIMITATIONS OF INSULATION / VENTILATION INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.

- An analysis of indoor air quality is not part of our inspection unless explicitly contracted-for and discussed in this or a separate report.
- Any estimates of insulation R values or depths are rough average values.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Plumbing

DESCRIPTION OF PLUMBING

Water Supply Source:	•Public Water Supply
Service Pipe to House:	•Copper
Main Water Valve Location:	•Crawl Space
Interior Supply Piping:	•Copper •Plastic
Waste System:	•Public Sewer System
Drain, Waste, & Vent Piping:	•Cast Iron
Water Heater:	•Gas •Approximate Capacity (in gallons): 40 •Manufacturer: State •Serial Number: 1004A013741
Fuel Shut-Off Valves:	•Natural Gas Main Valve At Meter

PLUMBING OBSERVATIONS

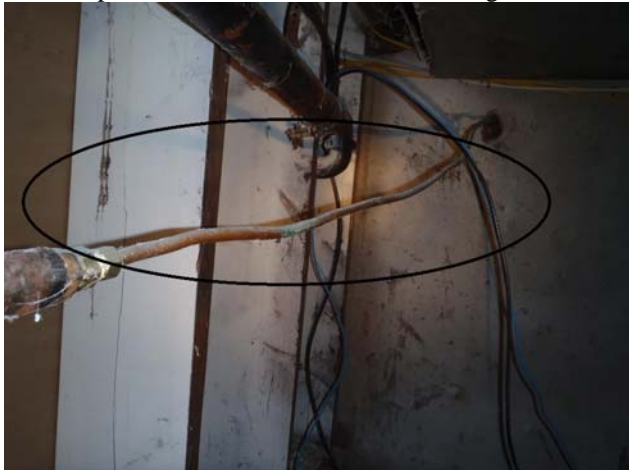
Positive Attributes

The plumbing system is in generally good condition. The piping system within the home, for both supply and waste, is a good quality system. The water pressure supplied to the fixtures is reasonably good. A typical drop in flow was experienced when two fixtures were operated simultaneously. Some of the plumbing fixtures within the home have been upgraded. The water heater is a relatively new unit. As the typical life expectancy of water heaters is 7 to 12 years, this unit should have several years of remaining life.

RECOMMENDATIONS / OBSERVATIONS

Gas Piping

- **Monitor, Repair:** Copper tubing was observed going through the rear foundation wall and appears to be open ended in the patio for a gas grill that is no longer present. Copper tubing is no longer suitable for gas piping by most gas utility companies. It's recommended this tubing be removed and the pipe capped in the crawl space.



- **Repair, Safety Issue:** Flexible gas appliance connectors should not pass through walls, floors or the appliance housing as is the case of the gas range. This connector should be replaced with one of suitable solid gas piping and a shut off installed in the kitchen.



Plumbing Fixtures

- **Monitor, Repair:** The bathroom sink was observed to drain slowly, suggesting that an obstruction may exist.
- **Recommend:** The window and sill of the bathtub enclosure should be protected from moisture. A waterproof curtain is usually sufficient. Windows in bathtub enclosures have a reputation for allowing leakage behind the enclosure, causing damage to the wall.
- **Repair:** The bathtub drain plug is missing and needs repair or a rubber stopper could be used.

LIMITATIONS OF PLUMBING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.
- Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.
- Clothes washing machine connections are not inspected.
- Interiors of flues or chimneys which are not readily accessible are not inspected.
- Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.
- **The gas supply to the house was shut off and the system could not be checked for leaks and the gas appliances could not be tested.**

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Interior

DESCRIPTION OF INTERIOR

Wall And Ceiling Materials:	•Drywall
Floor Surfaces:	•Carpet •Tile
Window Type(s) & Glazing:	•Double/Single Hung •Awning •Single Pane with Storm Window
Doors:	•Wood-Hollow Core •Sliding Glass

INTERIOR OBSERVATIONS

General Condition of Interior Finishes

On the whole, the interior finishes of the home are in above average condition. Typical minor flaws were observed in some areas.

General Condition of Windows and Doors

The majority of the doors and windows are average quality. The windows have, for the most part, been well-maintained.

General Condition of Floors

The floors of the home are relatively level and walls are relatively plumb.

RECOMMENDATIONS / OBSERVATIONS

Wall / Ceiling Finishes

- **Monitor, Repair:** Minor damage to the garage drywall was observed. Repair is discretionary.
- **Monitor:** Typical drywall and/or plaster flaws were observed that could include loose tape, minor cracks, rough seams, peeling paper, nail popping, minor patching, loose or bulging plaster, etc. Any repairs would be discretionary.

Windows

- **Monitor, Repair:** The southwest bedroom awning window does not seal properly. Improvement can be undertaken as desired.
- **Monitor, Repair:** Window crank handles are damaged on both awning windows in the bedrooms but are functional.



- **Repair:** Minor damage to the southeast bedroom window screen was observed.
- **Monitor:** It may be desirable to replace window screens where missing such as the northeast bedroom and awning windows.

Doors

- **Repair:** The garage walkout door needs some improvements to function properly.

Basement Leakage

- **Monitor:** No evidence of moisture penetration was visible in the basement at the time of the inspection. *It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future.* The vast majority of basement leakage problems are the result of insufficient control of storm water at the surface. The ground around the house should be sloped to encourage water to flow away from the foundation. Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation or into a functional storm sewer. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation are the most common source of basement leakage. Please refer to the Roofing and Exterior sections of the report for more information.

In the event that basement leakage problems are experienced, lot and roof drainage improvements should be undertaken as a first step. Please beware of contractors who recommend expensive solutions. Excavation, damp-proofing and/or the installation of drainage tiles should be a last resort. In some cases, however, it is necessary. Your plans for using the basement may also influence the approach taken to curing any dampness that is experienced. If another rain occurs before closing, it's recommended the basement be viewed again for any signs of moisture penetration.

LIMITATIONS OF INTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects.
- Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.
- Recent renovations and/or interior painting concealed historical evidence.
- Portions of the foundation walls were concealed from view.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Appliances

DESCRIPTION OF APPLIANCES

Appliances Tested:

•Gas Range •Microwave Oven •Dishwasher •Waste Disposer

Laundry Facility:

•Dryer Vented to Building Exterior •Hot and Cold Water Supply for Washer

•Waste Standpipe for Washer

Other Components Tested:

•Door Bell

APPLIANCES OBSERVATIONS

Positive Attributes

The appliances are to be in generally good condition. All appliances that were tested responded satisfactorily. The kitchen and laundry facilities are well organized. The kitchen cabinetry is above average quality. The fixtures employed in the kitchen are high quality. The appliances that have been installed in the kitchen are good quality.

RECOMMENDATIONS / OBSERVATIONS

LIMITATIONS OF APPLIANCES INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Thermostats, timers and other specialized features and controls are not tested.
- The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Fireplaces / Wood Stoves

DESCRIPTION OF FIREPLACES / WOOD STOVES

Fireplaces:

Wood/Coal Stoves:

Vents, Flues, Chimneys:

- Wood Stove But It Has Been Removed
- Masonry Chimney-Lined

FIREPLACES / WOOD STOVES OBSERVATIONS

RECOMMENDATIONS / OBSERVATIONS

Fireplaces

- **Repair:** If there are plans to install a wood stove the chimney should be inspected and cleaned prior to operation.



LIMITATIONS OF FIREPLACES / WOOD STOVES INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- The interiors of flues or chimneys are not inspected.

- Firescreens, fireplace doors, appliance gaskets and seals, automatic fuel feed devices, mantles and fireplace surrounds, combustion make-up air devices, and heat distribution assists (gravity or fan-assisted) are not inspected.
- The inspection does not involve igniting or extinguishing fires nor the determination of draft.
- Fireplace inserts, stoves, or firebox contents are not moved.
- The adequacy of the fireplace draw is not determined during a visual inspection; for safety reasons, if no fire is burning we do not ignite fires nor light paper or other materials.

Other Fireplace/Stove Components Not Inspected:

- Interiors of flues or chimneys

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.